



CITY OF ANTIGO

CITY PLAN COMMISSION MEETING

MULTI-PURPOSE ROOM

Tuesday, November 07, 2017

CITY HALL, 700 EDISON STREET

5:30 PM

Call to Order

Discussion and Action May Occur on Any of the Following Agenda Items:

1. Approval of Minutes from the October 3, 2017 Meeting
2. Site Plan Submittal by S.C. Swiderski for a Multi-Family Housing Development Located in the SW Quadrant of the Intersection of Hogan St./Pierce Ave. on a 8.25 Acre Formerly City-Owned Parcel
3. City Wide Comprehensive Plan Update Including Follow-up Conversations from Previous Meeting(s) along with Discussions on Goals/Objectives/Policies Chapters, Finalization of Maps and Implementation Steps (Presented by North Central Wisconsin Regional Planning Commission)

Any Other Matters Authorized by Law to be Considered

Adjournment

Upon reasonable notice, efforts will be made to accommodate disabled individuals through appropriate aids and services. For additional information, contact Jaime Horswill, 700 Edison Street, Antigo, Wisconsin 54409. (715) 623-3633 extension 100. Members of and possibly a quorum of members of other governmental bodies may be in attendance to gather information. Any governmental body other than that specifically referred to above will take no action.

DATE MAILED: November 02, 2017

BILL BRANDT



To: Mayor and City Council
From: Mark Desotell, Director of Administrative Services
Date: November 07, 2017
Re: Site Plan Submittal by S.C. Swiderski for a Multi-Family Housing Development
Located in the SW Quadrant of the Intersection of Hogan St./Pierce Ave. on a 8.25
Acre Formerly City-Owned Parcel

Attached in your agenda packet you will find copies of the site plan submittal as presented by S.C. Swiderski, LLC for the development of multi-family units on the formerly City-owned 8.25 acre parcel located in the southwest quadrant of the intersection of Hogan St./Pierce Ave.

Please keep in mind that while the site plan submittal depicts the placement of 5 separate 8-unit buildings with attached garages it is the intent of S.C. Swiderski to initiate the construction of the two northern most buildings in 2018.

The submittal in your packet is being distributed concurrently to key City staff for review and comment. Their comments will be shared with S.C. Swiderski prior to the November 7th meeting. If warranted, a revised set of plans will be distributed to Plan Committee members on the night of the actual meeting. Any staff incorporated changes will be described to you on the night of the meeting as well.

Please feel free to contact me with any of your questions.

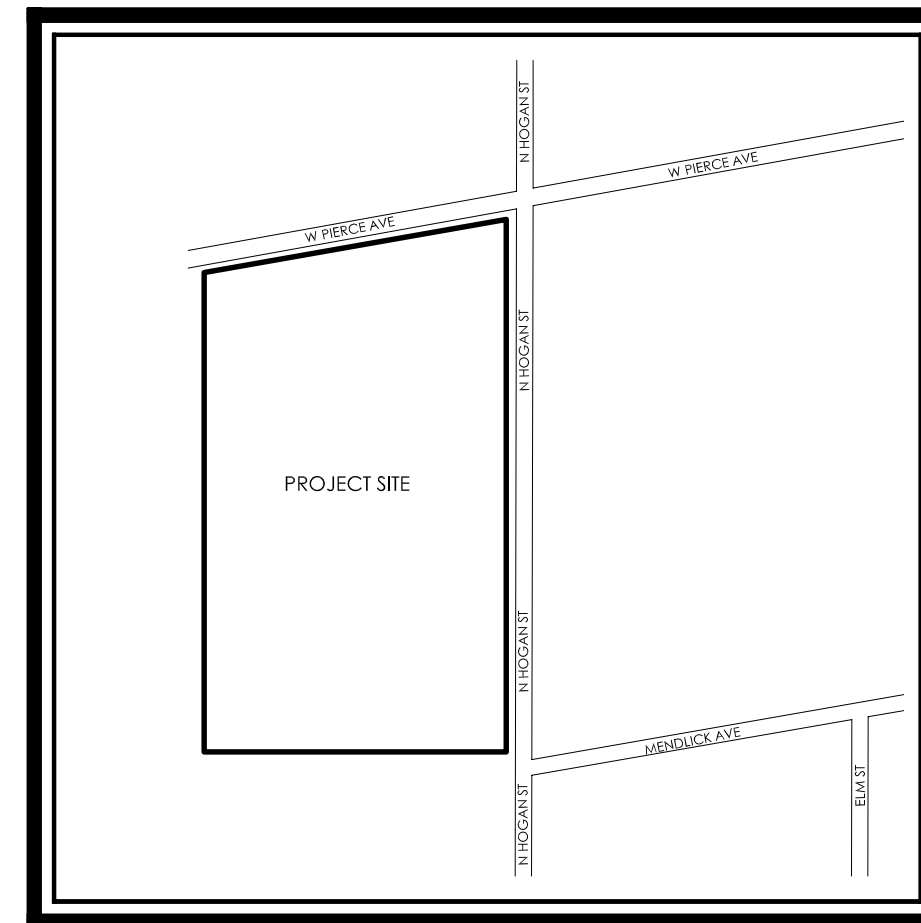
S.C. SWIDERSKI, LLC
HOGAN STREET APARTMENTS
"FINAL SITE PLAN"

CITY OF ANTIGO
LANGLADE COUNTY, WISCONSIN

SITE STATISTICS

ZONING = R-4 RESIDENTIAL		TOTAL LOT = 359.370 S.F. (8.25 ACRES)	
CURRENT USE: VACANT			
PROJECTED USE: MULTI-FAMILY APARTMENT COMPLEX			
# OF DWELLING UNITS: 40			
BUILDING	CONCRETE WALKS & BITUMINOUS PAVEMENT	GREEN SPACE	TOTAL IMPERVIOUS SURFACE
45,060 S.F.	104,246 S.F.	210,044 S.F.	147,326 S.F.
12.5% OF SITE	29.1% OF SITE	58.4% OF SITE	41.6% OF SITE

Location Map



ANTIGO, WI
NOT TO SCALE

SHEET INDEX

TS	TITLE SHEET
C1.0	LAYOUT PLAN
C2.0	GRADING PLAN
C3.0	EROSION CONTROL PLAN
C4.0	UTILITY PLAN
C5.0	LANDSCAPE PLAN

DEVELOPER INFORMATION

S.C. SWIDERSKI, LLC
401 RANGER STREET
MOSINEE, WI 54455
PH: 715.693.9522

REVISIONS	
0-25-17	PAD & SIGN LOCATIONS
DRAWN:	JLL
DATE	09-18-2017
PROJECT NO.	17.090

TITLE SHEET

**S.C. SWIDERSKI, LLC
HOGAN STREET APARTMENTS
LANGLADE COUNTY
ANTIGO, WISCONSIN**

Land Surveying
Engineering
Landscape Architecture
5709 Windy Drive, Suite D
Stevens Point, WI 54482
715.344.9999(Pri) 715.344.9922(Fx)

**TS**

REVISIONS	
10-25-17	PAD & SIGN LOCATIONS

DRAWN:	JUL
DATE	09-15-2017
PROJECT NO.	17.090

LAYOUT PLAN

S.C. SWIDERSKI, LLC
HOGAN STREET APARTMENTS
LANGLADE COUNTY
ANTIGO, WISCONSIN

Land Surveying
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5709 Windy Drive, Suite D
Stevens Point, WI 54482
715.344.9999 (Ph) 715.344.9922 (Fx)

Point of Beginning

C1.0

GENERAL NOTES:

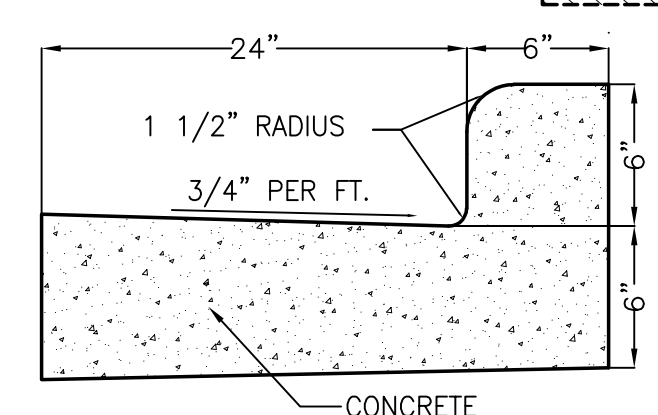
1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
3. ALL REQUIRED EROSION CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
4. SEE SHEET C3.0 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
5. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
6. VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
7. ALL BIDDERS PLANNING ON SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE EXISTING CONDITIONS PRIOR TO THE BID DATE.
8. PRIOR TO THE START OF WORK VERIFY WITH THE LOCAL AUTHORITIES THAT ALL REQUIRED PERMITS HAVE BEEN ACQUIRED.
9. COORDINATE CONSTRUCTION IN THE RIGHT OF WAY WITH THE LOCAL AUTHORITIES.
10. PROVIDE PROPER BARRICADES, SIGNS AND TRAFFIC CONTROL TO MAINTAIN THRU TRAFFIC ALONG ADJACENT STREETS IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS.
11. SIDEWALK JOINTS TO BE AS INDICATED OR AS APPROVED BY CONSTRUCTION MANAGER.
12. ALL SAWCUTS SHALL BE AT AN EXISTING JOINT IN THE CURB AND PAVEMENT.
13. ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDED/FERTILIZED/CRIMP HAY MULCHED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

KEYNOTES:

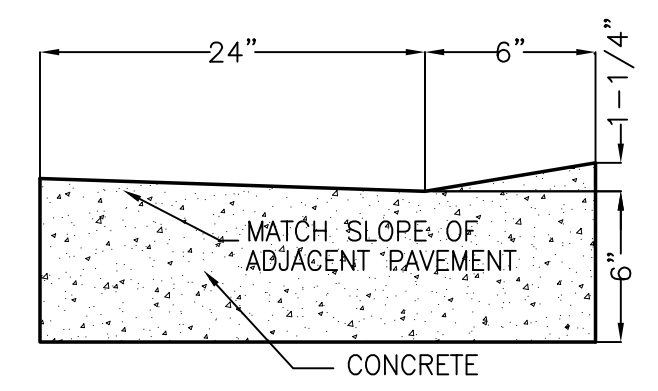
- | | | |
|---|---|-----------|
| ① | 30" CURB AND GUTTER | 3
C1.0 |
| ② | 30" DRIVE OVER CURB | 3
C1.0 |
| ③ | SAWCUT EXISTING ASPHALT PAVEMENT | 3
C1.0 |
| ④ | PROPOSED SIGN (SEE ARCHITECTURAL) | |
| ⑤ | MAIL BOX SHED (8'X12' CONCRETE PAD) | |
| ⑥ | DUMPSTER ENCLOSURE (26'X14' CONCRETE PAD) | |

LAYOUT HATCH PATTERNS:

- | | | |
|---|--|-----------|
| PROPOSED 3" ASPHALTIC CONCRETE PAVEMENT W/ 9" BASE COURSE | | 1
C1.0 |
| PROPOSED 4" CONCRETE PAVEMENT | | 2
C1.0 |
| PROPOSED 6" REINFORCED CONCRETE PAVEMENT | | 2
C1.0 |
| REMOVE AND REPLACE EXISTING CURB AND PAVEMENT. MATCH EXISTING GRADE & SECTION. (COORDINATE W/ CITY OF ANTIGO) | | 2
C2.0 |
| PROPOSED WET DETENTION POND | | 2
C2.0 |

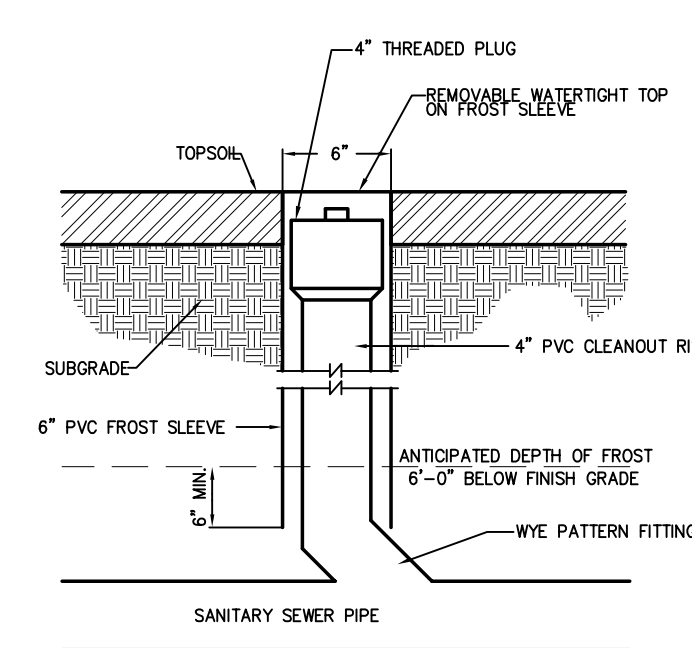


30" STANDARD CURB

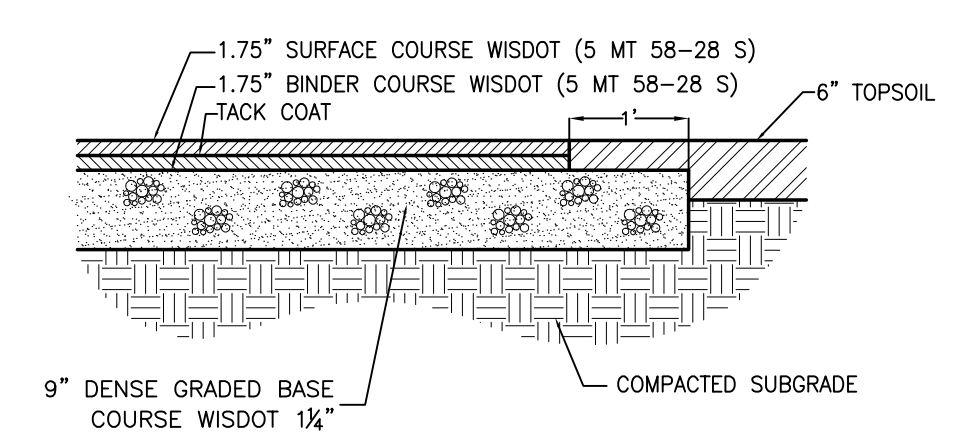


30" DRIVE OVER CURB

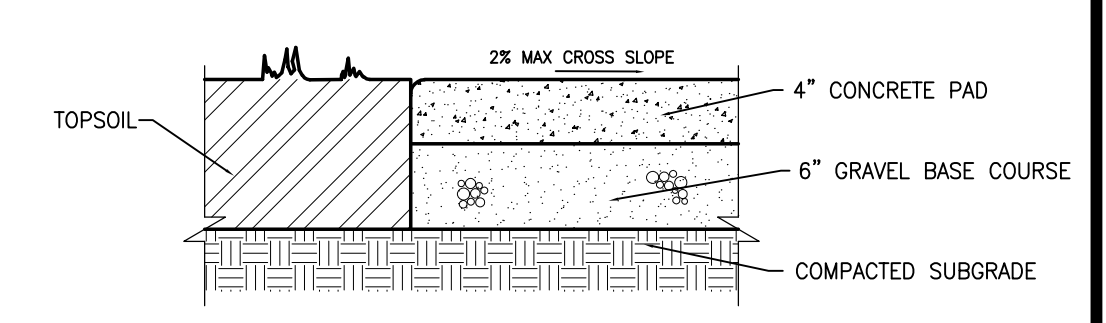
CONCRETE CURB AND GUTTER



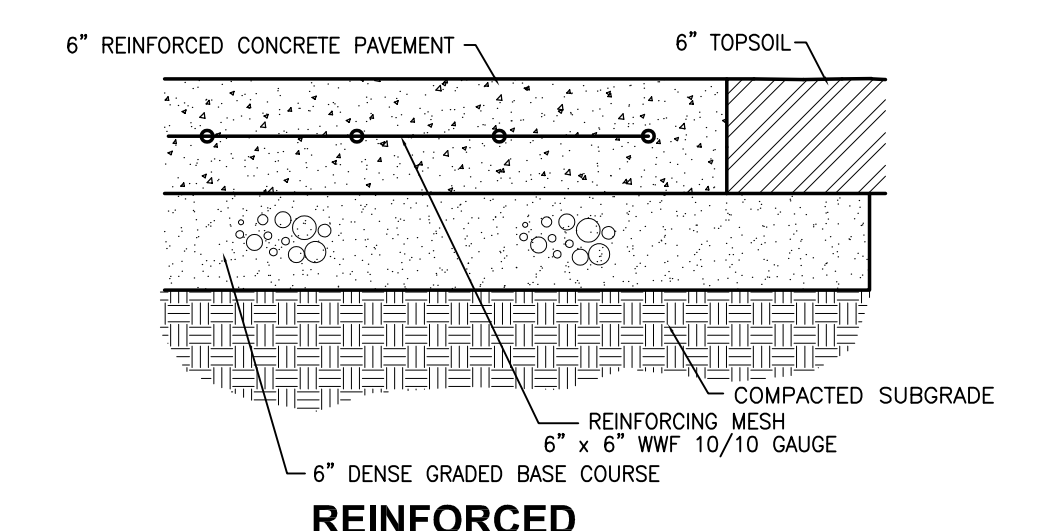
SANITARY CLEANOUT



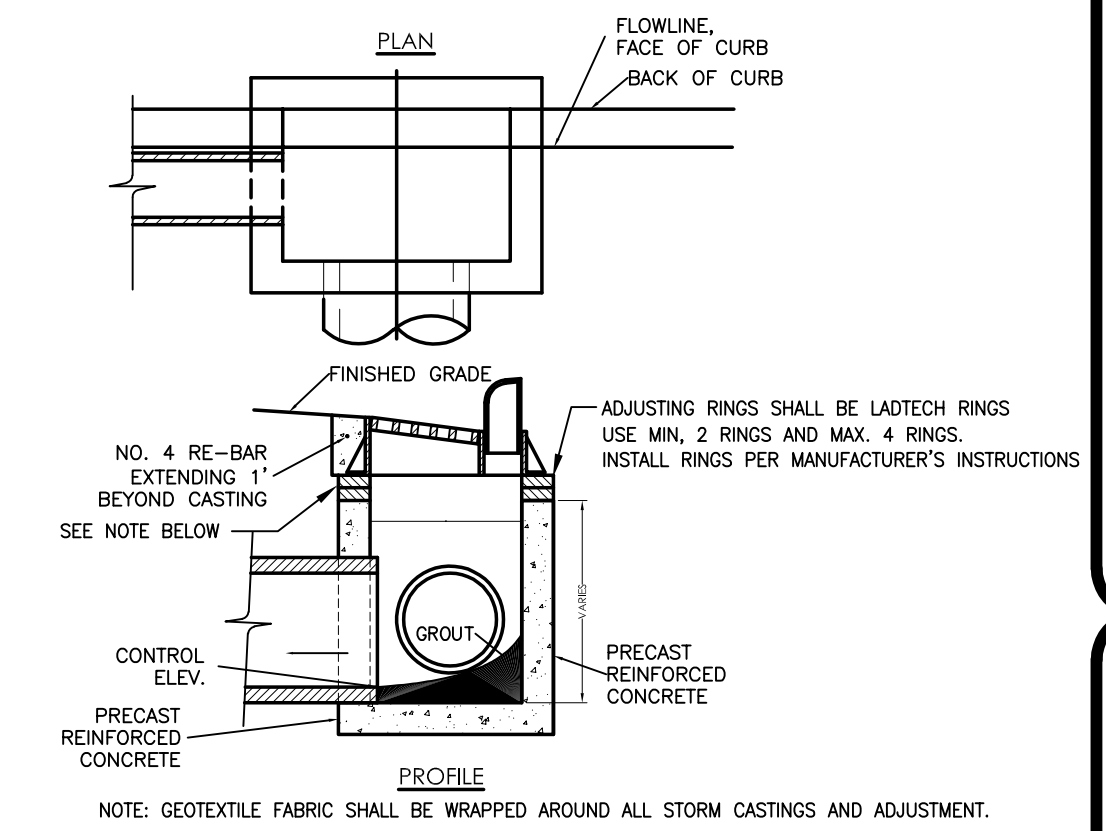
3.5" ASPHALT PAVEMENT



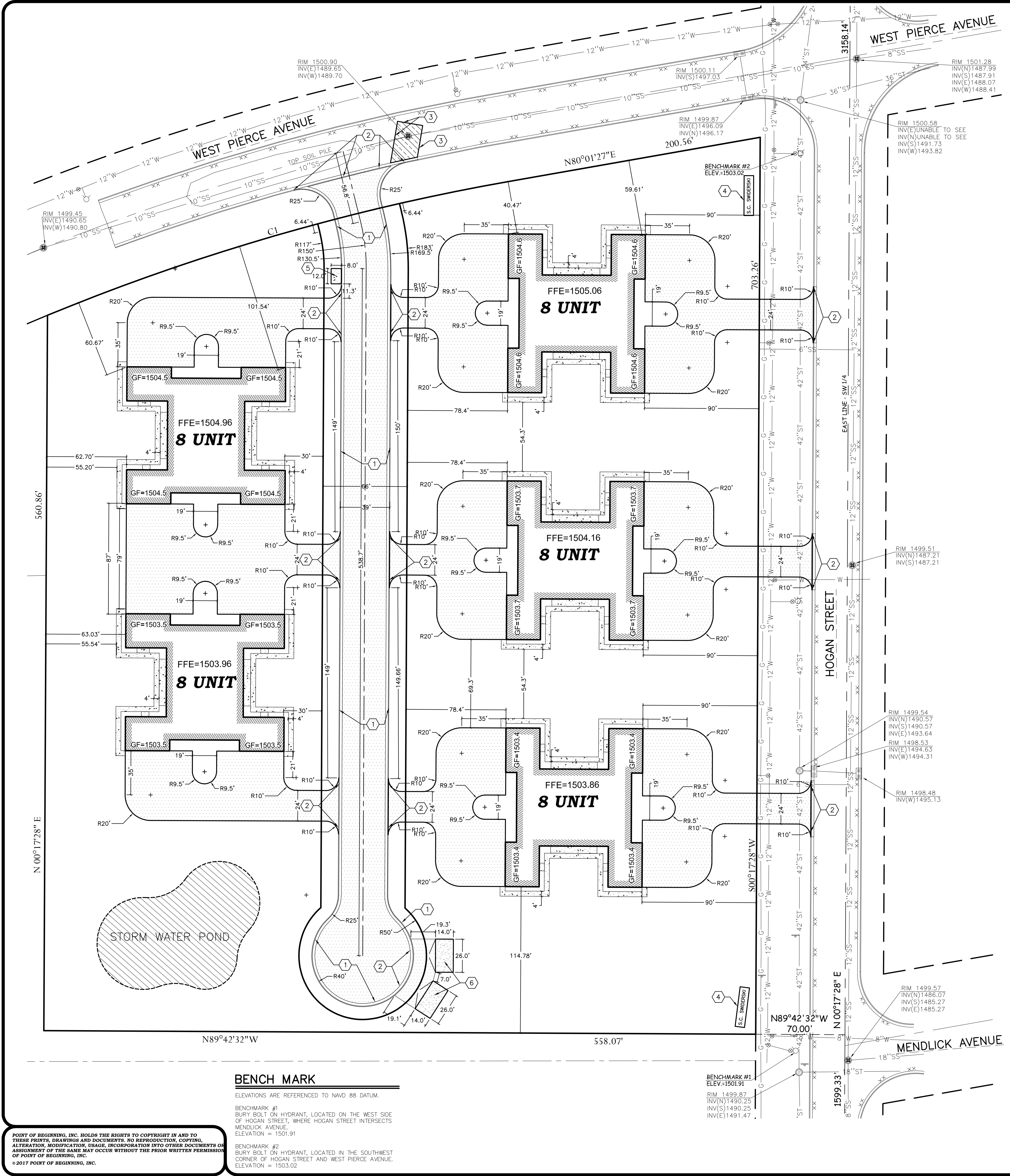
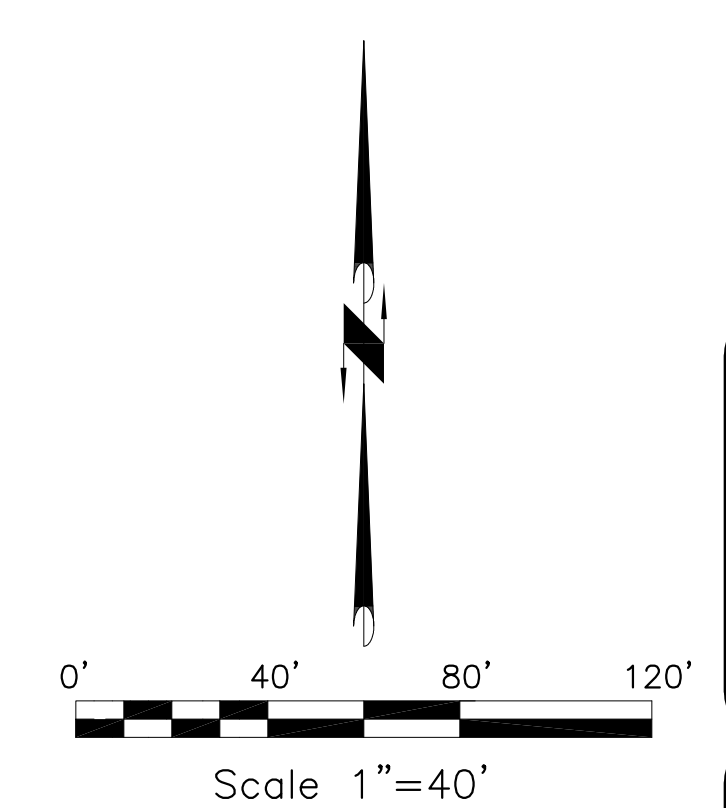
SIDEWALK



CONCRETE PAVEMENT



2'x3' BOX CATCH BASIN



BENCH MARK
ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.
BENCHMARK #1
BURY BOLT ON HYDRANT, LOCATED ON THE WEST SIDE OF HOGAN STREET, WHERE HOGAN STREET INTERSECTS MENDLICK AVENUE.
ELEVATION = 1501.91
BENCHMARK #2
BURY BOLT ON HYDRANT, LOCATED IN THE SOUTHWEST CORNER OF HOGAN STREET AND WEST PIERCE AVENUE.
ELEVATION = 1503.02

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REVISIONS	
10-25-17	PAD & SIGN LOCATIONS
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GRADING PLAN

S.C. SWIDERSKI, LLC
HOGAN STREET APARTMENTS
LANGLADE COUNTY
ANTIGO, WISCONSIN

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Point of Beginning

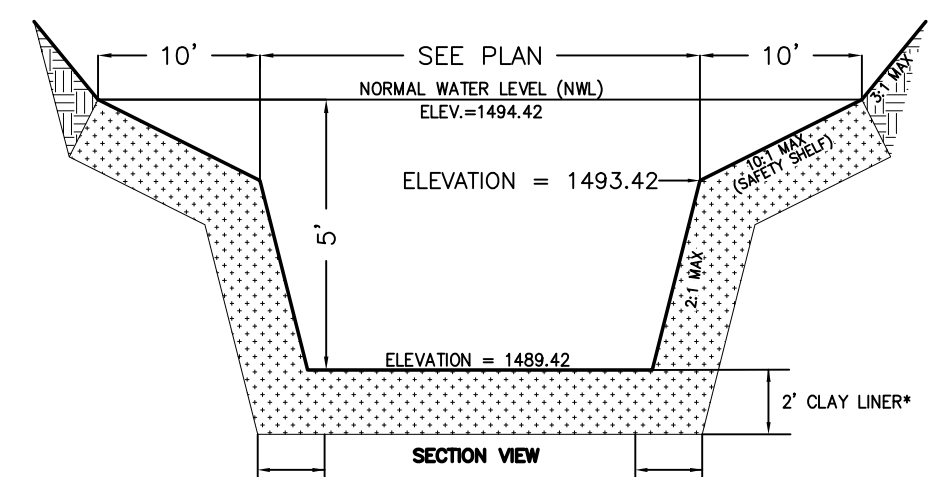
C2.0

GENERAL NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE DEPARTMENT OF NATURAL RESOURCES, LOCAL AUTHORITIES REGULATIONS.
- 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LAWN AREAS AND 12" SHALL BE PROVIDED IN ALL PLANTING BED AREAS.
- SEE SHEET C3.0 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- COORDINATE ALL EARTHWORK ACTIVITIES WITH GAS, ELECTRIC, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES FOR THE INSTALLATION OF SAID UTILITIES.
- PROVIDE RIPRAP AT ALL ENDWALL STRUCTURES OF THE PROPOSED CULVERTS TO PREVENT WASHOUT AND EROSION.
- RIPRAP SHALL HAVE FILTER FABRIC PLACED BENEATH.
- EXCESS TOPSOIL SHALL BE STOCKPILED AND STORED ONSITE FOR FUTURE USE, UNLESS OTHERWISE DIRECTED BY THE OWNER. SILT FENCE SHALL BE PLACED AROUND STOCKPILE.
- ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
- THE LOCAL MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL HAVE A TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING. THE LOCAL MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES IF NEEDED.
- GRADES AT BUILDING EDGE SHALL BE 6" BELOW FINISHED FLOOR ELEVATION EXCEPT AT DOOR WAY ENTRANCES OR UNLESS OTHERWISE NOTED.

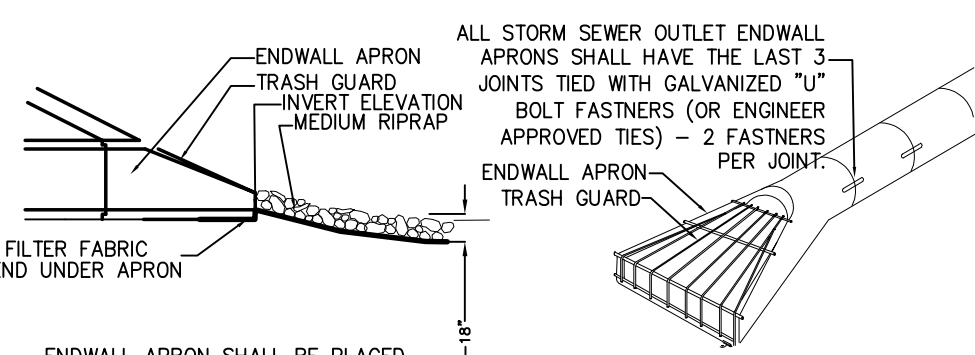
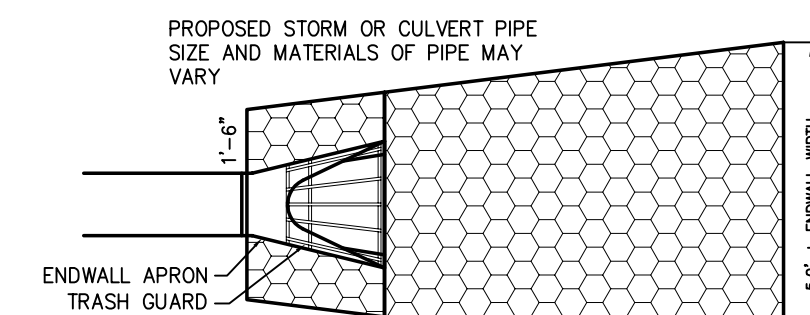
GRADING LEGEND:

EXISTING CONTOUR	712
PROPOSED CONTOUR	712
PROPOSED SPOT ELEVATION	692.20
PROPOSED TOP OF CURB ELEVATION	TC=893.56
PROPOSED FLOW LINE ELEVATION	FI=893.56
PROPOSED MATCH ELEVATION (CONTRACTOR TO VERIFY)	692.05M
PROPOSED INVERT ELEVATION	INV=892.05
PROPOSED ENDWALL STRUCTURE WITH RIP RAP	4 C2.0
PROPOSED STORM SEWER MANHOLE	1 C2.0
PROPOSED STORM INLET	4 C1.0
RIPRAP OVERFLOW WEIR	5 C2.0
WET DETENTION POND	2 C2.0
PROPOSED CONTROL STRUCTURE	3 C2.0

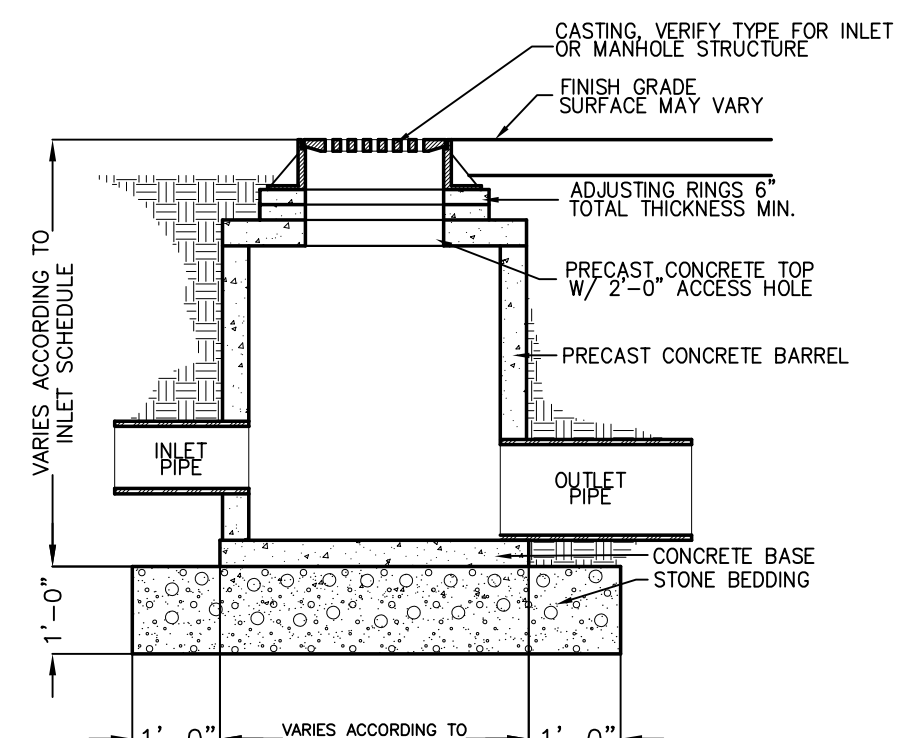


- *NOTES:
- IF IN SITU SOILS DO NOT MEET THE REQUIREMENTS OF A TYPE B CLAY LINER IN APPENDIX D OF THE MNR TECHNICAL STANDARD 1001, THE CONTRACTOR SHALL OVER EXCAVATE THE POND BY 2 FOOT, AND INSTALL A CLAY LINER THAT MEETS THE ABOVEMENTIONED SPECIFICATIONS.
 - THE CONTRACTOR MAY USE OTHER LINER METHODS LISTED IN THE ABOVEMENTIONED APPENDIX D, IF APPROVED BY THE CIVIL ENGINEER.

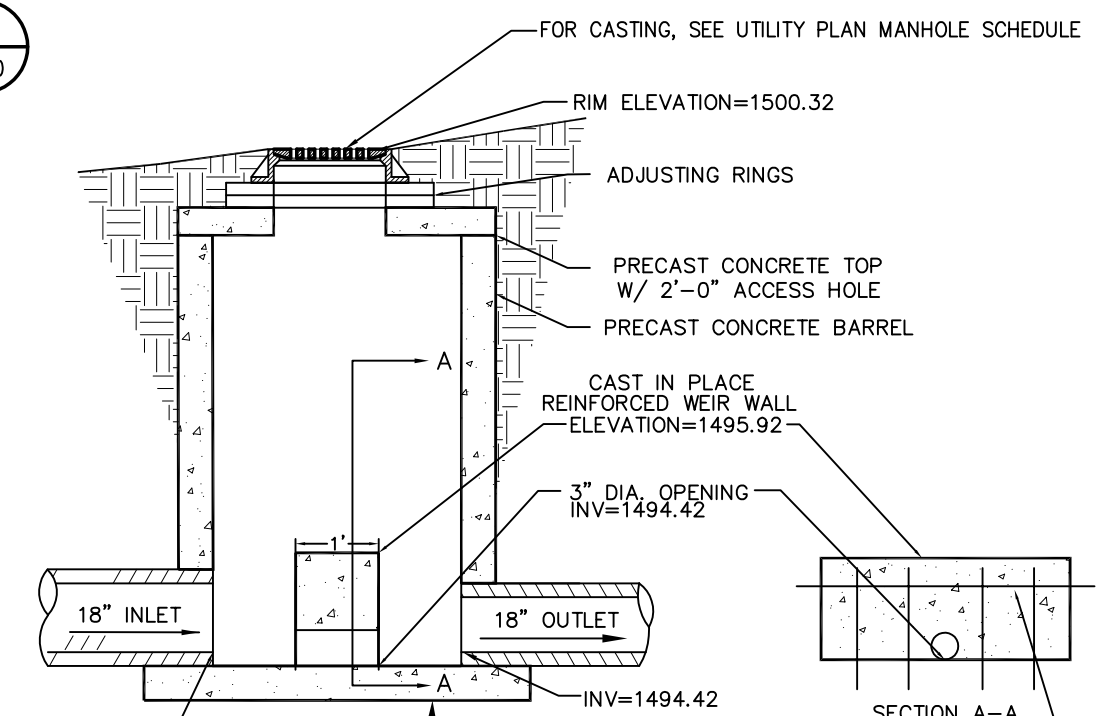
WET DETENTION POND



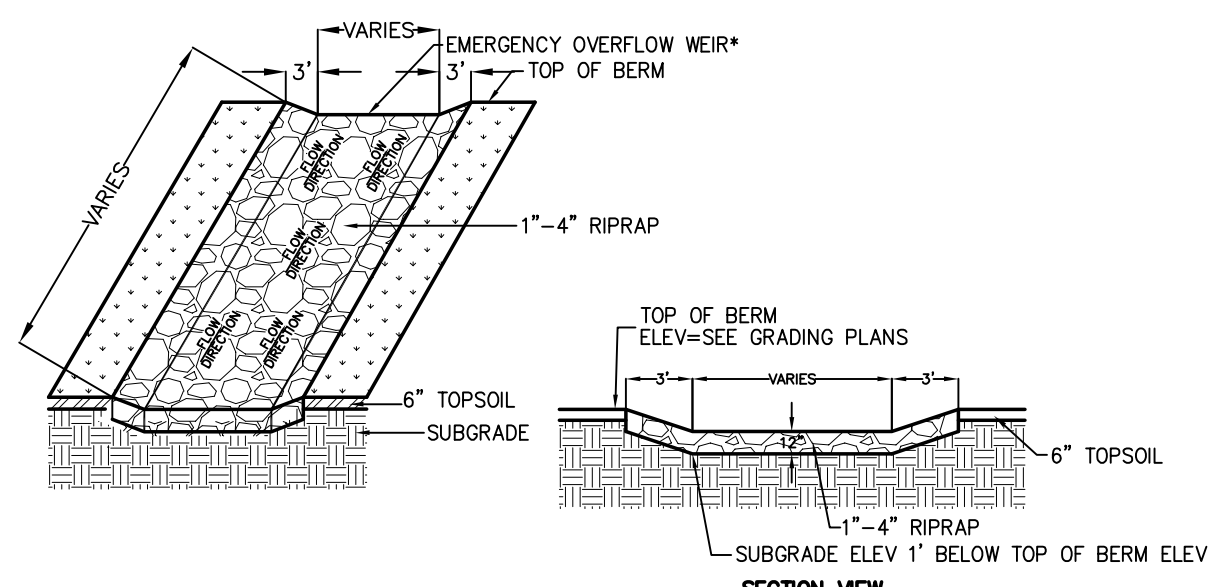
ENDWALL STRUCTURE



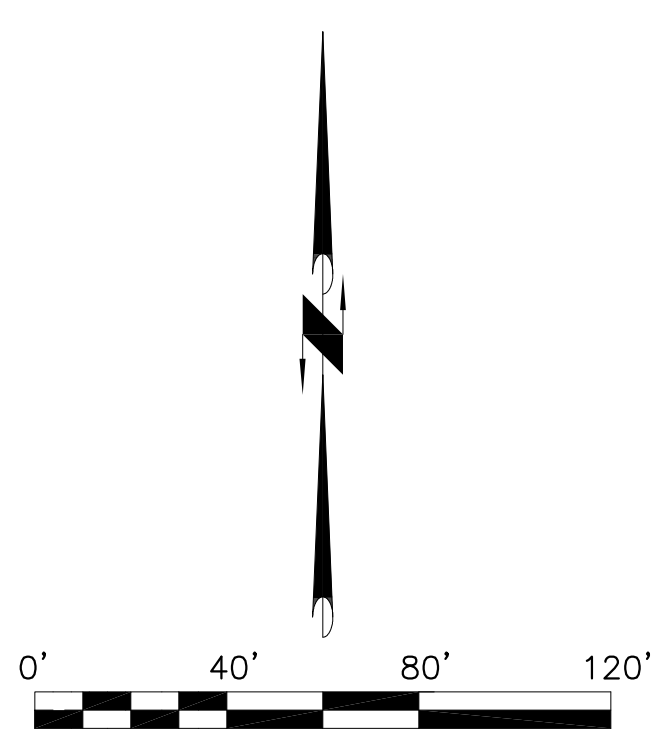
STORM MANHOLE



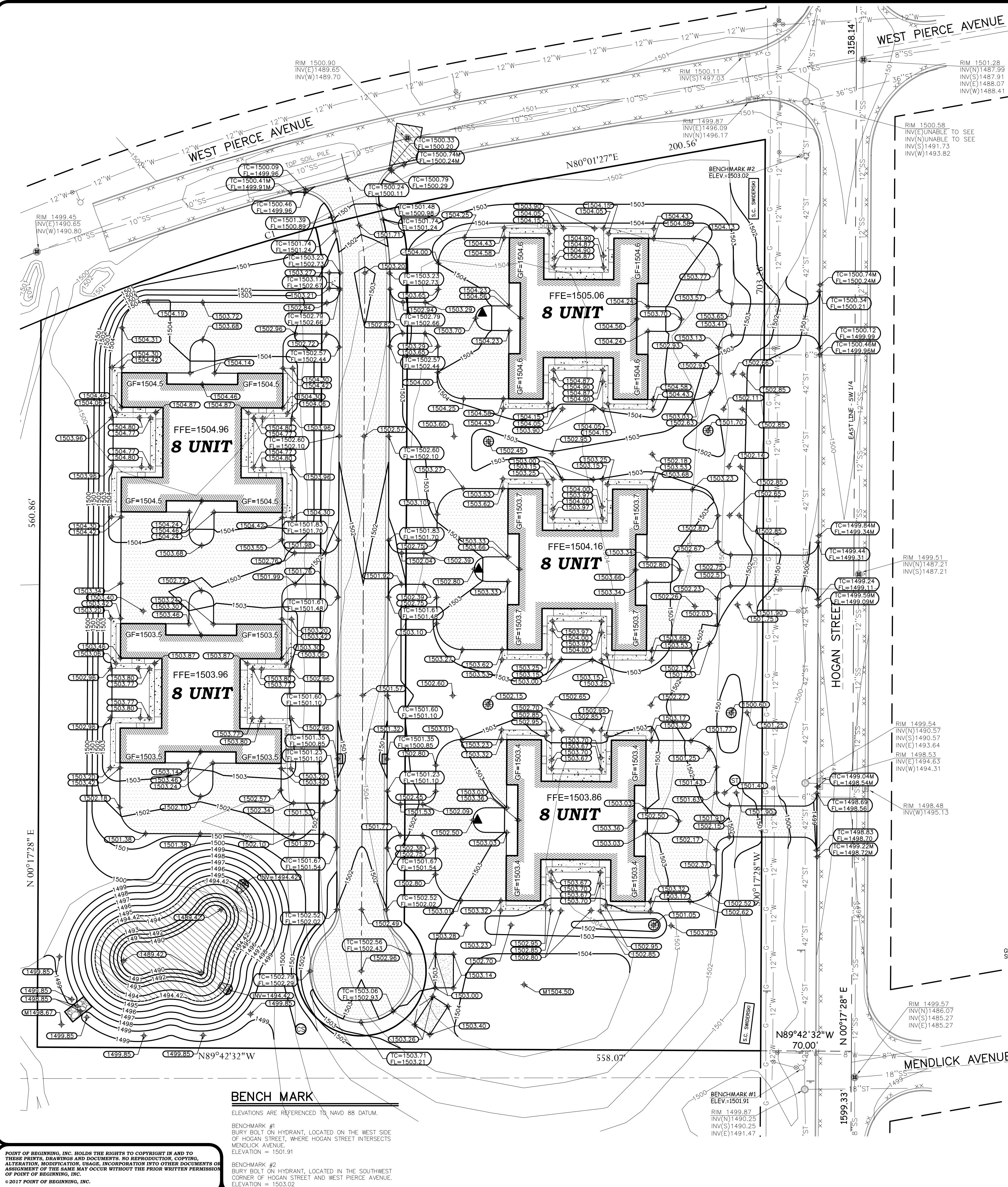
CONTROL STRUCTURE #1



RIPRAP OVERFLOW WEIR



Scale 1"=40'



BENCH MARK

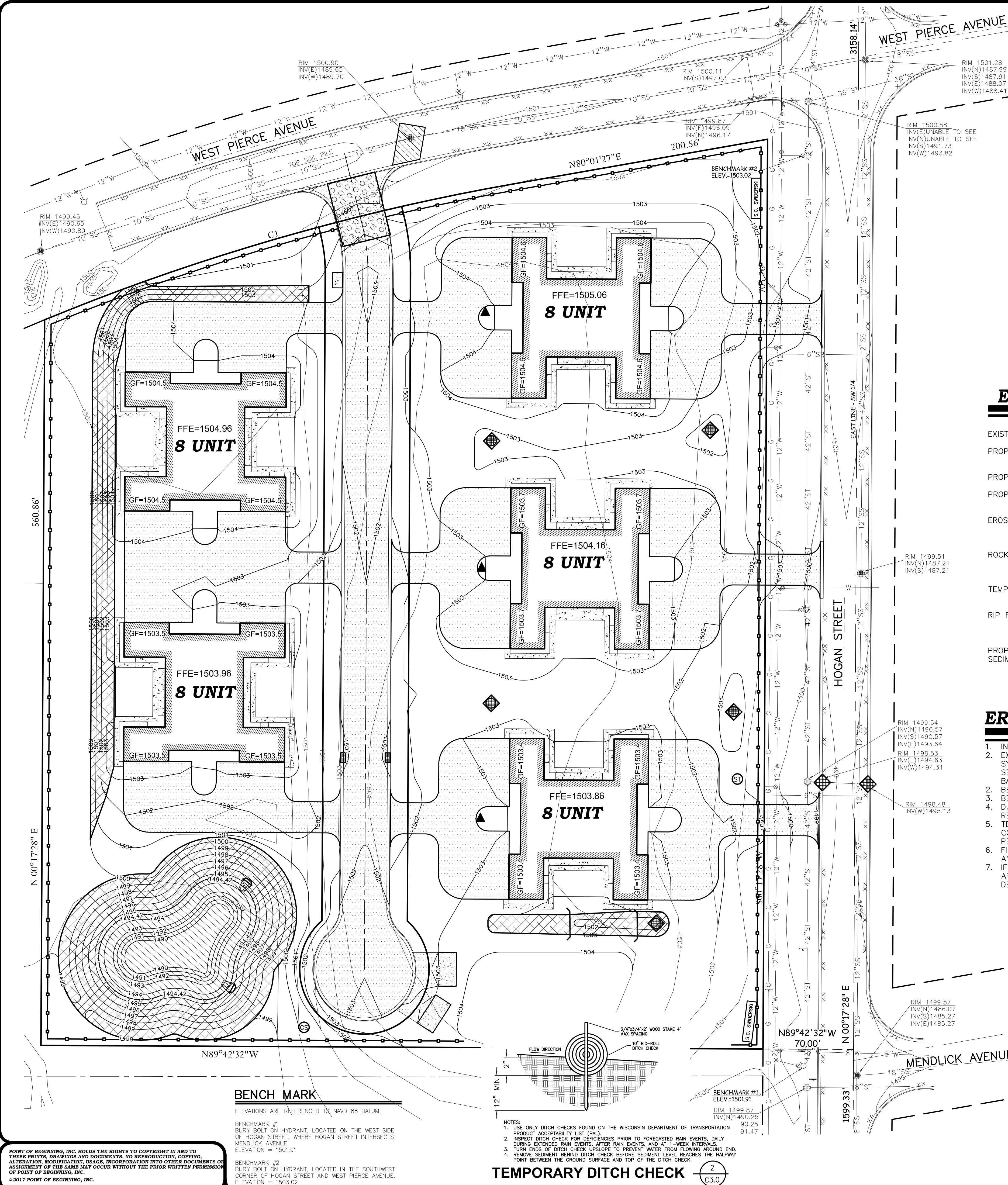
ELEVATIONS ARE REFERENCED TO NAVD 83 DATUM.

BENCHMARK #1
 BURY BOLT ON HYDRANT, LOCATED ON THE WEST SIDE
 OF HOGAN STREET, WHERE HOGAN STREET INTERSECTS
 MENDLICK AVENUE.
 ELEVATION = 1501.91

BENCHMARK #2
 BURY BOLT ON HYDRANT, LOCATED IN THE SOUTHWEST
 CORNER OF HOGAN STREET AND WEST PIERCE AVENUE.
 ELEVATION = 1503.02

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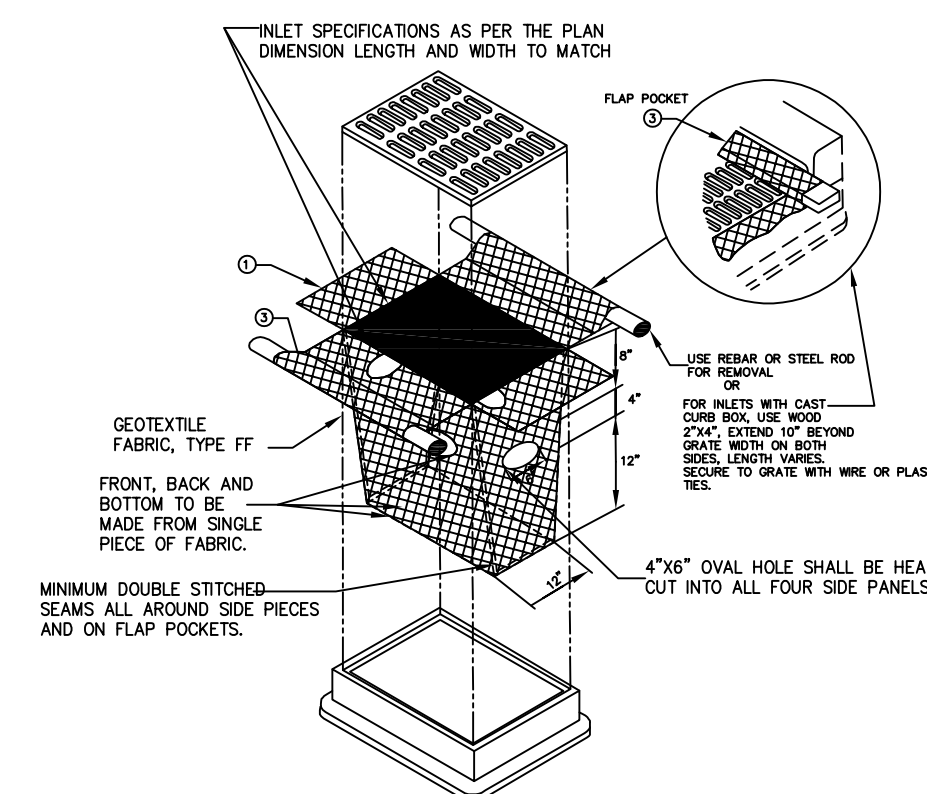


GENERAL NOTES:

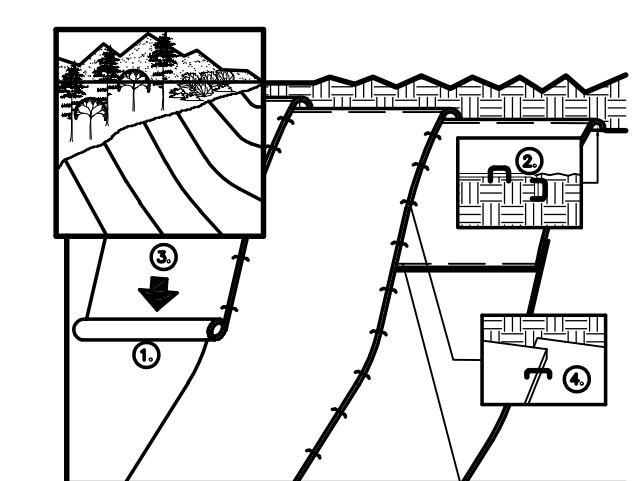
- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- NOTIFY THE LOCAL MUNICIPALITY AT LEAST 2 WORKING DAYS PRIOR TO THE START OF SOIL DISTURBING ACTIVITIES.
- INSTALL ALL TEMPORARY EROSION CONTROL ELEMENTS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE AS TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME. MAINTAIN EXISTING VEGETATION AS LONG AS POSSIBLE.
- CRUSHED ROCK DRIVES FOR SEDIMENT TRACKING UTILIZING 3" CRUSHED ROCK SHALL BE MAINTAINED AT ALL CONSTRUCTION ENTRANCES TO THE SITE. THE ROCK DRIVE SHALL BE A MINIMUM OF 12" THICK AND BE A MINIMUM OF 50 FEET IN LENGTH BY THE WIDTH OF THE DRIVEWAY.
- OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES, INCLUDING SOIL TRACKED BY CONSTRUCTION TRAFFIC, SHALL AT A MINIMUM BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR OTHER DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR OTHER DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED IMMEDIATELY. FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM ADJACENT STREETS BY THE USE OF MECHANICAL OR MANUAL SWEEPING OPERATIONS ONCE A WEEK AT A MINIMUM AND BEFORE IMMINENT RAIN EVENTS.
- DISTURBED GROUND OUTSIDE OF THE EVERYDAY CONSTRUCTION AREAS, INCLUDING SOIL STOCKPILES, THAT ARE LEFT INACTIVE FOR MORE THAN 7 DAYS SHALL BE TEMPORARILY STABILIZED BY SEEDING/MULCHING OR OTHER APPROVED METHODS.
- WASTE MATERIAL THAT IS GENERATED ON THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO RUN INTO RECEIVING WATERS.
- EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF EACH WORK DAY.
- INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE A WEEK AND AFTER ANY RAINFALL OF 0.5" OR MORE. MAKE NEEDED REPAIRS AND DOCUMENT ALL ACTIVITIES AS PER THE REQUIREMENTS OF THE NOTICE OF INTENT SUBMITTED BY THE PROJECT CIVIL ENGINEER.
- ALL TEMPORARY EROSION CONTROL ELEMENTS SHALL REMAIN IN PLACE UNTIL A SUFFICIENT GROWTH OF VEGETATION IS ESTABLISHED AND THEN BE REMOVED AS PART OF THE BASE BID.
- IF SEDIMENT LADEN WATER NEEDS TO BE REMOVED FROM THE SITE, FILTER BAGS OR SCREENING SHALL BE USED IN ACCORDANCE WITH THE WI DNR TECHNICAL STANDARDS 1061 TO PREVENT THE DISCHARGE OF SEDIMENT TO THE MAXIMUM EXTENT PRACTICABLE.
- PROVIDE RIP RAP AT ALL ENDWALL STRUCTURES OF THE PROPOSED CULVERTS TO PREVENT WASHOUT AND EROSION.
- RIP RAP SHALL HAVE FILTER FABRIC PLACED BENEATH.
- IF BARE SOIL IS EXPOSED DURING THE WINTER MONTHS, STABILIZATION BY MULCHING OR ANIONIC POLYACRYLAMIDE SHALL OCCUR PRIOR TO SNOW OR FROZEN GROUND.
- SILT FENCE SHALL BE INSTALLED AROUND THE TOPSOIL STOCKPILE.
- THE CONTRACTOR SHALL PERFORM INSPECTIONS AND MONITORING OF EROSION CONTROL PRACTICES IN ACCORDANCE WITH THE WI DNR "CONSTRUCTION SITE INSPECTION REPORT" FORM 3400-187. THIS FORM CAN BE FOUND IN THE CONSTRUCTION SPECIFICATIONS.
- FINAL STABILIZATION OF THE SEDIMENTATION BASIN/WET DETENTION POND SHALL INCLUDE REMOVAL OF ALL SEDIMENT BUILT UP DURING CONSTRUCTION.

EROSION CONTROL LEGEND:

EXISTING CONTOUR	888
PROPOSED CONTOUR	888
PROPOSED SILT FENCE	5 C3.0
PROPOSED INLET PROTECTION	1 C3.0
EROSION CONTROL BLANKET	3 C3.0
ROCK CONSTRUCTION ENTRANCE	4 C3.0
TEMPORARY DITCH CHECK	2 C3.0
RIP RAP WEIR	5 C2.0
PROPOSED WET DETENTION POND/ SEDIMENTATION BASIN	5 C2.0



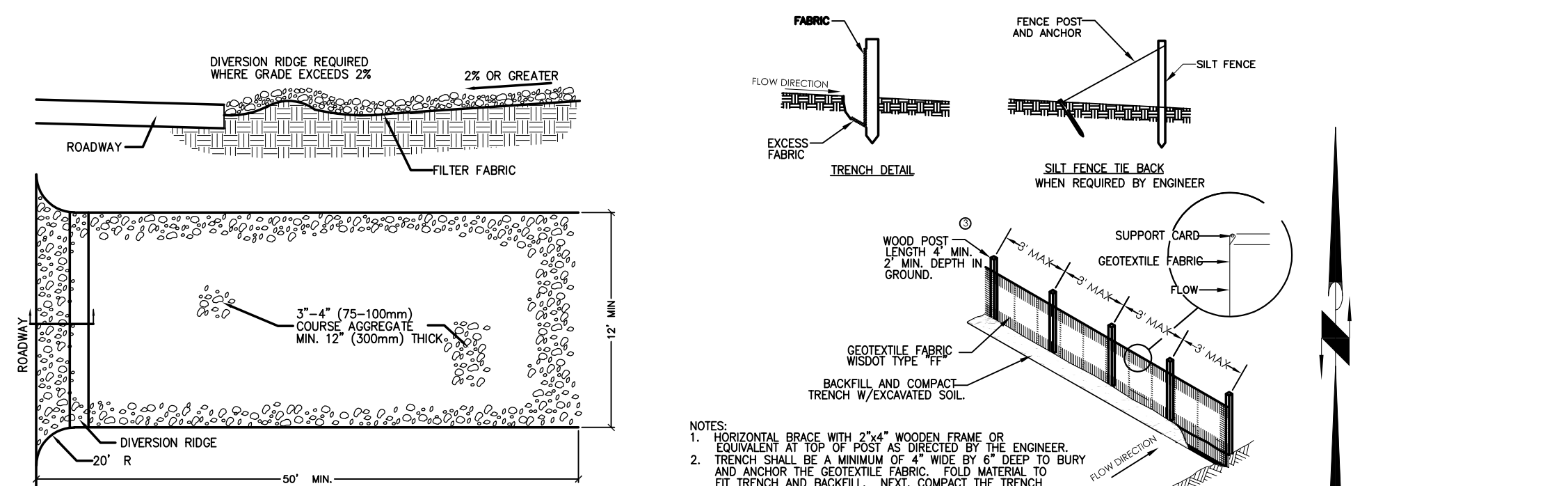
INLET PROTECTION



EROSION CONTROL SEQUENCING

- INSTALL PERIMETER EROSION CONTROL.
- EXCAVATE THE PROPOSED WET DETENTION POND AND INSTALL THE OUTLET STORM SEWER SYSTEM, CONTROL STRUCTURE, AND RIP RAP OVERFLOW. THIS BASIN WILL ACT AS A SEDIMENTATION BASIN DURING CONSTRUCTION. INSTALL AND MAINTAIN THE SEDIMENTATION BASIN IN ACCORDANCE WITH THE REQUIREMENTS OF DNR TECHNICAL STANDARD 1064.
- BEGIN DEMOLITION.
- BEGIN ROUGH GRADING AND UTILITY INSTALLATION.
- DURING GRADING ACTIVITIES EXISTING GRASS AND VEGETATION, TO BE REMOVED, SHALL REMAIN IN PLACE FOR AS LONG AS POSSIBLE, TO AVOID SEDIMENT TRANSPORT.
- TEMPORARY STABILIZATION ACTIVITY SHALL COMMENCE WHEN LAND DISTURBING CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
- FINAL STABILIZATION ACTIVITY SHALL COMMENCE WHEN LAND DISTURBING ACTIVITIES CEASE AND FINAL GRADE HAS BEEN REACHED ON ANY PORTION OF THE SITE.
- IF DISTURBED AREAS MUST BE LEFT OVER WINTER, AN ANIONIC POLYACRYLAMIDE SHALL BE APPLIED TO ALL DISTURBED AREAS PRIOR TO GROUND FREEZE. SEE SPECIFICATIONS FOR DETAILS.

EROSION CONTROL BLANKETS



ROCK CONSTRUCTION ENTRANCE

SILT FENCE

Scale 1"=40'

EROSION CONTROL PLAN

S.C. SWIDERSKI, LLC
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LANGLADE COUNTY
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POB

Point of Beginning

C3.0

REVISIONS	
10-25-17	PAD & SIGN LOCATIONS
DRAWN: JUL	
DATE 09-15-2017	
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UTILITY PLAN

S.C. SWIDERSKI, LLC
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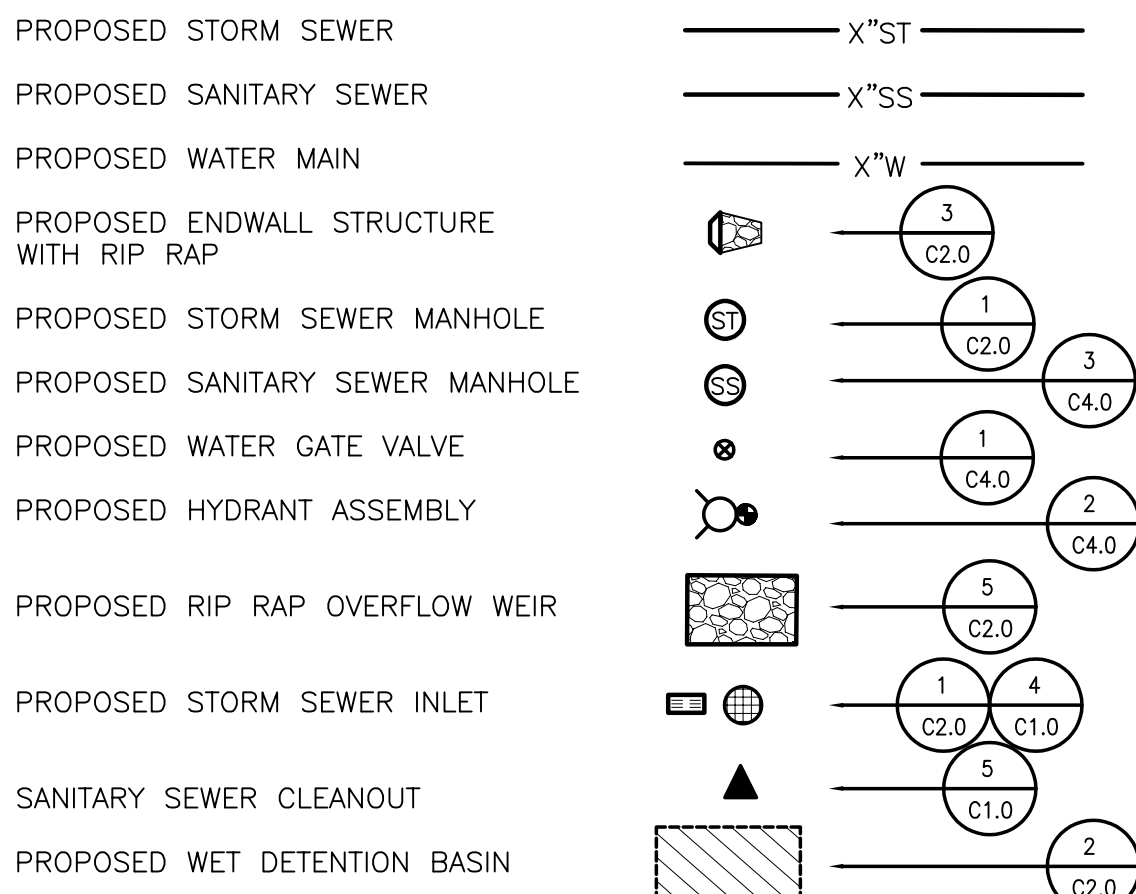


C4.0

GENERAL NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- GRADE, LINE, AND ELEV TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR.
- REFER TO THE PROPOSED BUILDING MECHANICAL/PLUMBING PLANS FOR EXACT CONNECTION LOCATIONS AND VERIFY SANITARY SEWER LATERAL.
- COORDINATE ALL UTILITY WORK WITH GAS, ELECTRICAL, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES RESPONSIBLE FOR INSTALLATION OF SAID UTILITIES.
- COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAY WITH THE LOCAL MUNICIPALITY.
- ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
- THE PROPOSED WATER MAIN SHALL HAVE A MINIMUM COVER OF 8'-0" TO THE TOP OF PIPE FROM THE PROPOSED FINISHED GRADES, SEE SHEET C2.0 FOR PROPOSED GRADES.
- THE MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL HAVE HIS TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING. THE MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES IF NEEDED.
- FIELD VERIFY THE SANITARY LATERAL CONNECTION INVERT ELEVATION PRIOR TO THE START OF WORK.
- PROVIDE RIPRAP AT ALL ENDWALL STRUCTURES OF THE PROPOSED CULVERTS TO PREVENT WASHOUT AND EROSION.
- RIP RAP SHALL HAVE FILTER FABRIC PLACED BENEATH.

UTILITY LEGEND:



SANITARY MANHOLE SCHEDULE:

SS#1	SS#2
RIM 1502.74 INV. NW 1490.61 INV. S 1490.71	RIM 1502.49 INV. N 1492.31
DEPTH 12.31	DEPTH 10.18
48" I.D. PRECAST MANHOLE W/ NEENAH R-1733 CASTING SOLID COVER	48" I.D. PRECAST MANHOLE W/ NEENAH R-1733 CASTING SOLID COVER

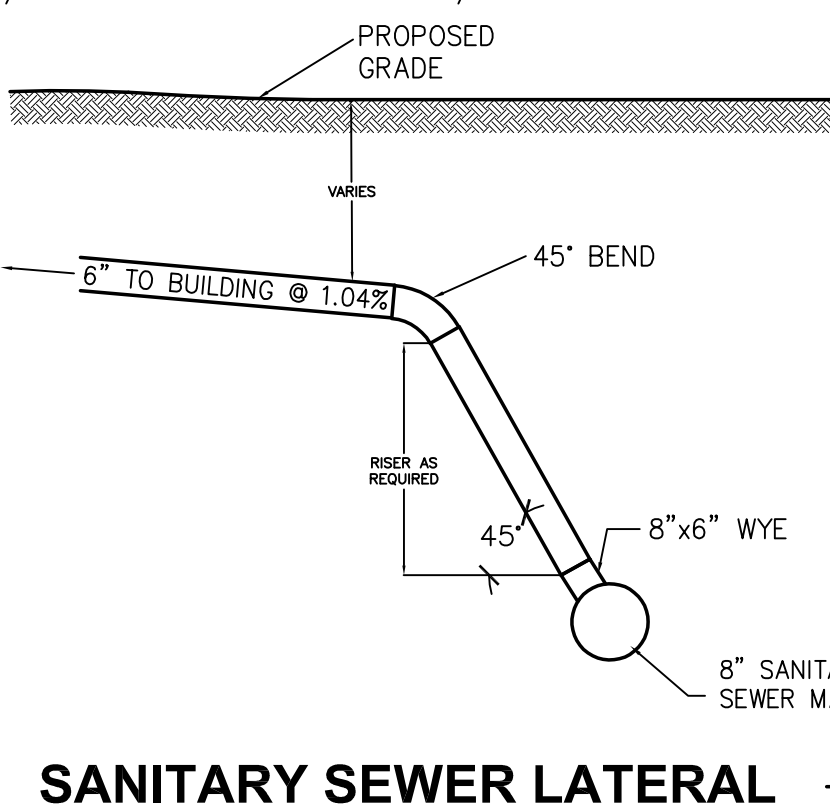
CLEAN OUT SCHEDULE:

CO#1	CO#2	CO#3
RIM 1503.84 INV.* 1496.84	RIM 1503.93 INV.* 1495.93	RIM 1502.63 INV.* 1495.63

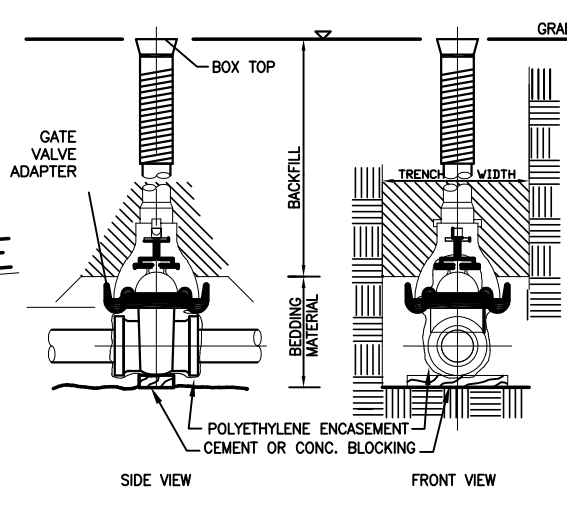
* NOTE: INVERT ELEVATION SHOWN AT 90° BEND/VERTICAL RISER

STORM MANHOLE SCHEDULE:

ST#1	ST#2	ST#3	ST#4	ST#5
RIM 1501.70 INV. W 1498.70	RIM 1502.45 INV. E 1497.54 INV. S 1497.29	RIM 1500.60 INV. W 1497.60	RIM 1502.15 INV. N 1496.22 INV. E 1496.47 INV. SW 1495.97	RIM 1500.85 INV. NE 1495.66 INV. W 1495.16
DEPTH 3.00	DEPTH 5.16	DEPTH 3.00	DEPTH 6.18	DEPTH 5.69
48" I.D. PRECAST MANHOLE W/ NEENAH R-2560EA CASTING W/ BEEHIVE GRATE	48" I.D. PRECAST MANHOLE W/ NEENAH R-2560EA CASTING W/ BEEHIVE GRATE	48" I.D. PRECAST MANHOLE W/ NEENAH R-2560EA CASTING W/ BEEHIVE GRATE	48" I.D. PRECAST MANHOLE W/ NEENAH R-2560EA CASTING W/ BEEHIVE GRATE	2' X 3' CONCRETE BOX W/ NEENAH R-3067 CASTING W/ TYPE R GRATE
ST#6	ST#7	ST#8	CS#1 (SEE DETAIL 3/C2.0)	
RIM 1500.85 INV. E 1495.06 INV. SW 1495.06	RIM 1501.05 INV. NE 1493.29 INV. W 1493.29	RIM 1501.75 INV. SW 1492.77 INV. E 1492.77	RIM 1500.32 INV. NW 1494.42 INV. NE 1494.42	
DEPTH 5.79	DEPTH 7.76	DEPTH 8.98	DEPTH 5.90	
2' X 3' CONCRETE BOX W/ NEENAH R-3067 CASTING W/ TYPE R GRATE	48" I.D. PRECAST MANHOLE W/ NEENAH R-2560EA CASTING W/ BEEHIVE GRATE	48" I.D. PRECAST MANHOLE W/ NEENAH R-1733 CASTING W/ SOLID COVER	48" I.D. PRECAST MANHOLE W/ NEENAH R-1733 CASTING W/ SOLID COVER	

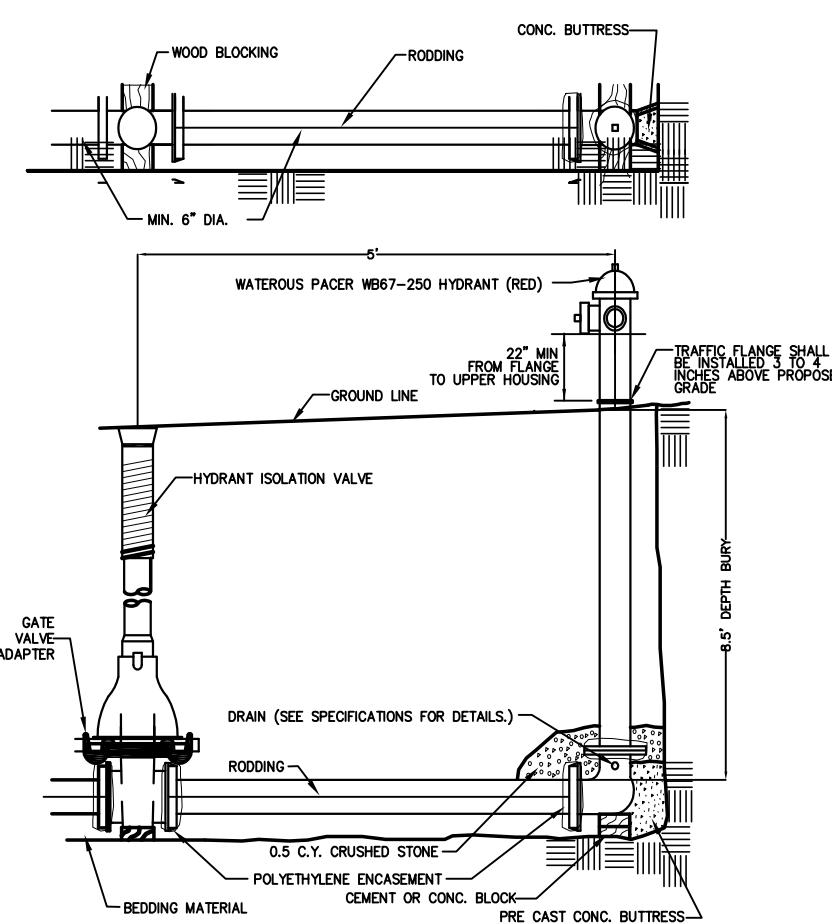


SANITARY SEWER LATERAL



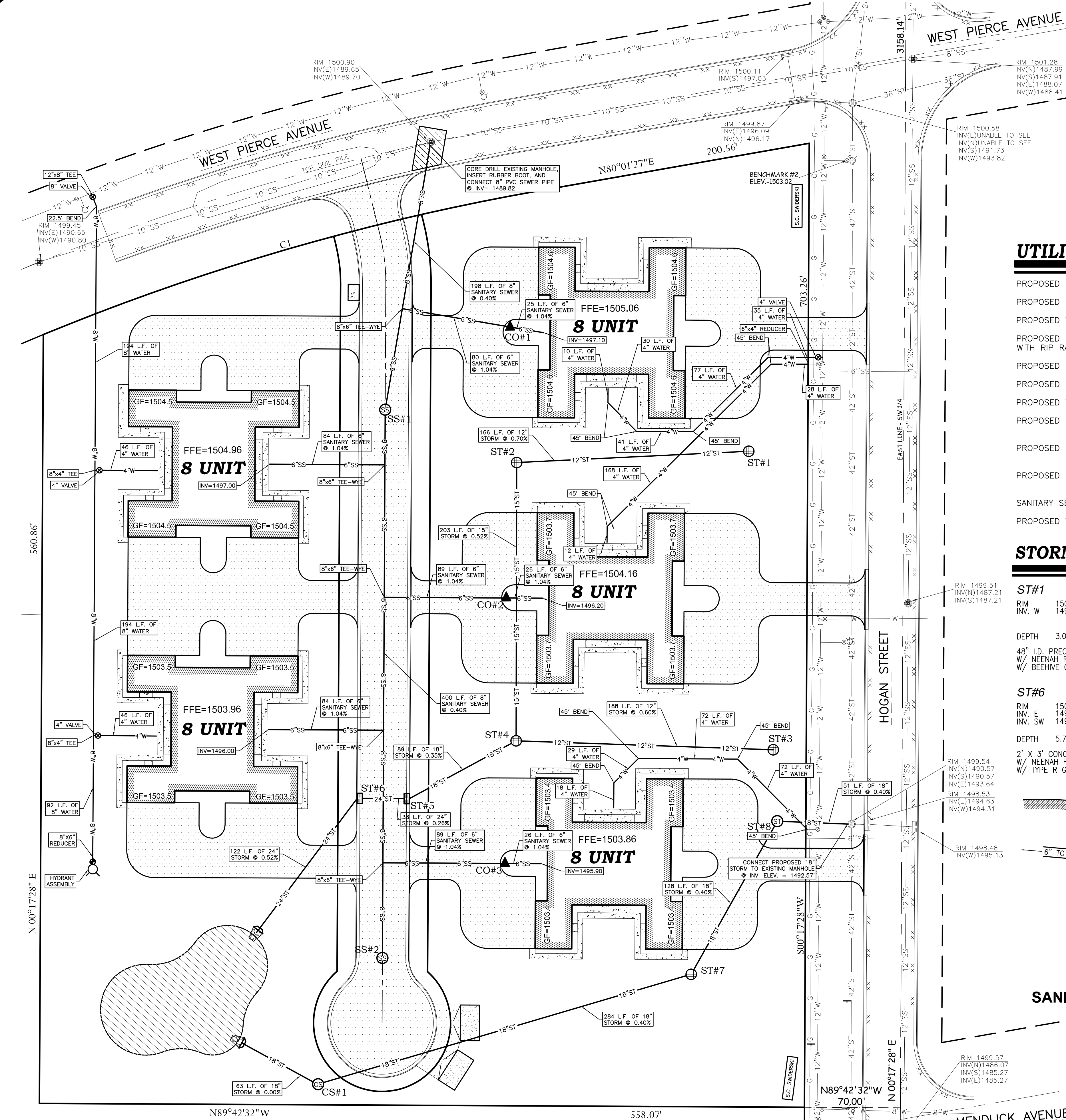
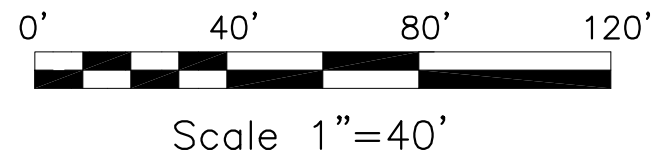
GATE VALVE

1
C4.0



HYDRANT ASSMEBLY

2
C4.0



BENCH MARK

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.
BENCHMARK #1
BURY BOLT ON HYDRANT, LOCATED ON THE WEST SIDE
OF HOGAN STREET, WHERE HOGAN STREET INTERSECTS
MENDLICK AVENUE.
ELEVATION = 1501.91
BENCHMARK #2
BURY BOLT ON HYDRANT, LOCATED IN THE SOUTHWEST
CORNER OF HOGAN STREET AND WEST PIERCE AVENUE.
ELEVATION = 1503.02

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REVISIONS	
10-25-17	PAD & SIGN LOCATIONS
DRAWN: JUL	
DATE 09-15-2017	
PROJECT NO. 17.090	

LANDSCAPE PLAN

S.C. SWIDERSKI, LLC
HOGAN STREET APARTMENTS
LANGLADE COUNTY
ANTIGO, WISCONSIN

Land Surveying
Engineering
Landscape Architecture
5709 Windy Drive, Suite D
Stevens Point, WI 54482
715.344.9999 (Ph) 715.344.9922 (Fx)

Point of Beginning

C5.0

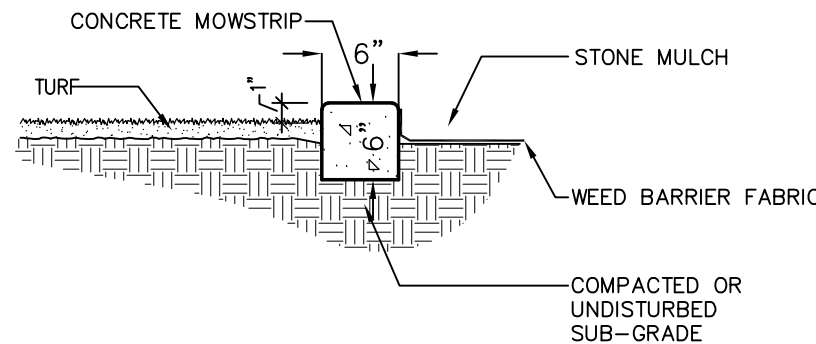
GENERAL NOTES:

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SPECIFIED PLANTING SOIL DEPTH IS PRESENT PRIOR TO PLANTING.
3. SEED/FERTILIZE/CRIMP HAY MULCH ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION. LAWN SEED TO BE EARTH CARPET BRAND MADISON PARKS SEED MIX OR EQUAL.
4. ALL PLANT MATERIALS LISTED SHALL MEET THE STANDARDS OF THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION FOR THE SIZES GIVEN.
5. ALL TREES SHALL BE STAKED WITH A MINIMUM OF THREE STAKES AND SECURED WITH STRAPPING.
6. ALL TREES IN THE TURF AREA SHALL HAVE A 3" DIAMETER CIRCLE OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH.
7. CONCRETE MOW STRIP SHALL BE PLACED AROUND ALL LANDSCAPE BEDS. SEE DETAIL 1/C6.0.
8. 3" DEPTH OF DECORATIVE LANDSCAPE STONE SHALL BE PLACED IN ALL SHRUB PLANTING BEDS. SIZE AND STYLE OF STONE TO BE SELECTED BY OWNER.
9. TYPAR WEED BARRIER OR APPROVED EQUAL SHALL BE PLACED BENEATH ALL LANDSCAPE STONE.
10. IN-GROUND AUTOMATED IRRIGATION SHALL BE INSTALLED WITHIN THE PROJECT LIMITS. ALL TREES AND PLANTING BEDS ARE TO HAVE A DRIP IRRIGATION LINE INSTALLED. COORDINATE ALL PLANT INSTALLATION WITH THE IRRIGATION CONTRACTOR.
11. COORDINATE ALL LANDSCAPE WORK WITH GAS, ELECTRIC, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES FOR THE INSTALLATION OF SAID UTILITIES.

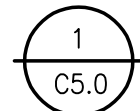
PLANTING SCHEDULE:

TREES		COMMON NAME	INSTALLATION SIZE	QUANTITY
SYMBOLS	BOTANICAL NAME			
AF	ACER X FREEMANII 'SIENNA'	SIENNA GLEN MAPLE	2" CAL.	7
GT	GLADISTIA TRIACANTHOS VAR. INERMIS 'SKYCOLE'	SKYLINE HONEYLOCUST	2" CAL.	7
PG	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	4"-5'T	20
SR	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	4"-5'T	10
SHRUBS		COMMON NAME	INSTALLATION SIZE	QUANTITY
SYMBOLS	BOTANICAL NAME			
BU	BUXUS 'GREEN VELVET'	GREEN VELVET BOXWOOD	3 GAL.	100
PF	POTENTILLA FRUTICOSA 'GOLDFINGER'	GOLDFINGER POTENTILLA	3 GAL.	90
SJ	SPIRAEA JAPONICA 'TRACY'	DOUBLE PLAY BIG BANG SPIREA	3 GAL.	100

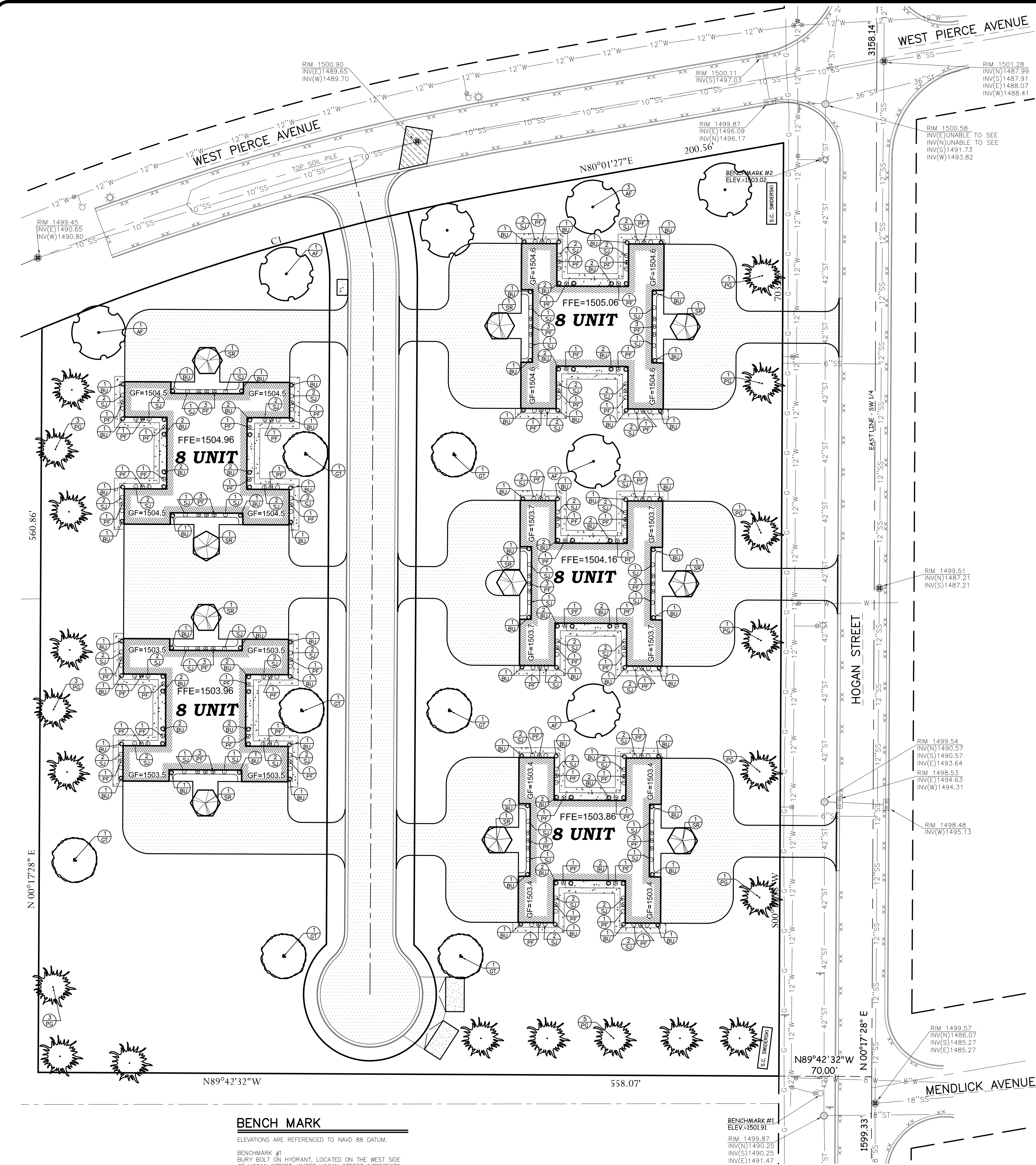
- NOTES:
1. MOWSTRIP TO BE CAST-IN-PLACE AND POURED USING TYPICAL WEIGHT STRUCTURAL CONCRETE.
 2. CONTRACTOR TO ENSURE POSITIVE DRAINAGE AROUND MOWSTRIPS-DO NOT CREATE A DAM EFFECT WITH PLACEMENT OF MOWSTRIP.
 3. MAXIMUM 1/2" WIDTH VARIATION.
 4. PRECISELY FOLLOW LAYOUT AS SHOWN ON LANDSCAPE PLAN.



CONCRETE MOWSTRIP



Scale 1"=40'



BENCH MARK

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

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To: Mayor and City Council
From: Mark Desotell, Director of Administrative Services
Date: November 07, 2017
Re: City Wide Comprehensive Plan Update Including Follow-up Conversations from Previous Meeting(s) along with Discussions on Goals/Objectives/Policies Chapters, Finalization of Maps and Implementation Steps (Presented by North Central Wisconsin Regional Planning Commission)

Tonight's presentation by NCWRPC represents our 4th meeting (originally anticipated for September) and will be followed in December/January with the submittal by NCWRPC of a full draft document subject to final edits/revisions. Once the recommended updates have been incorporated, a Public Hearing will be scheduled with the anticipated final adoption of the City Wide Comprehensive Plan by ordinance through the FP&L/Council process.

Discussions this evening will include follow-up conversations from previous meeting(s) along with information on implementation (Presented by North Central Wisconsin Regional Planning Commission). I attached the original project schedule into your agenda packets to remind you of the steps previously taken by this Committee.

City of Antigo Comprehensive Plan Meeting Overview

This plan update process will involve four meetings with NCWRPC staff. The previous plan will be used as a starting point, a variety of new data and maps will be prepared and discusses, and goals, objectives and policies will be developed. T

All meetings will be held with the Plan Commission and will last about 1.5 to 2 hours.

Meeting 1: (March)

- Overview planning process
- Review existing plan
- Review and recommend a Public Participation Plan (PPP)
- Review demographic information
- Discuss current planning issues and concerns

Meeting 2: (May)

- Follow up from last meeting
- Review updated information for the Natural Resources, Housing, and Utilities and Community Facilities Chapters
- Review chapter related maps
- Review related goals, objectives and policies

Meeting 3: (July)

- Follow up from last meeting
- Review updated information for Transportation, Economic Development, and Land Use Chapters
- Review chapter related maps, in particular Future Land Use
- Review related goals, objectives and policies

Meeting 4: (September)

- Follow up from last meeting
- Review updated information for Intergovernmental Cooperation and Implementation Chapters
- Review related goals, objectives and policies
- Finalize maps
- Discuss Implementation Steps

Following this meeting a full draft document will be prepared.

Meeting 5: (October/November)

- Review the final document and provide any final edits/changes
- Pass a Resolution Recommending Adoption of the plan
- Review Final Implementation Steps

A public hearing will be held following this meeting with final adoption by ordinance by the City Council.

NCWRPC Draft 1/4/17

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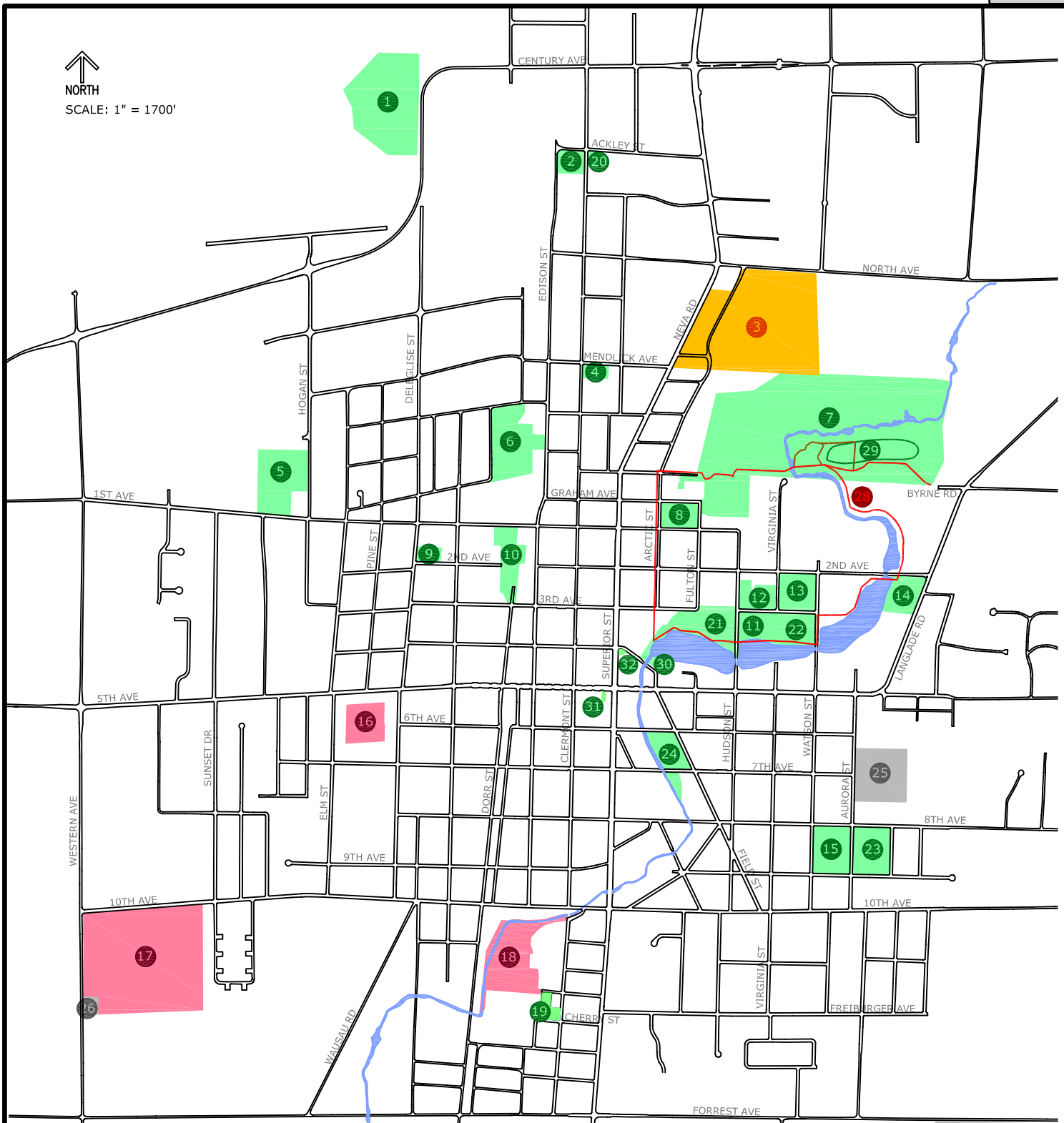
A public hearing will be held following this meeting with final adoption by ordinance by the City Council.

NCWRPC Draft 1/4/17



NORTH

SCALE: 1" = 1700'



PARK & RECREATION AREAS

CEMETERIES

- 1 - Dog Park - Corner of Deleglise St and Century Ave
- 2 - North Clermont Ball Diamond - 805 Ackley St
- 3 - County Fairgrounds - 1633 Neva Rd
- 4 - Mendlik Park - 1439 Clermont St
- 5 - Remington Lake - 1228 Hogan St
- 6 - Saratoga Park - 1235 Nantasket St
- 7 - Northern Natural Area
- 8 - Water Tower Park - 520 1st Ave
- 9 - Third Ward Park - 1120 2nd Ave
- 10 - Railway Activity Park - 1011 1st Ave
- 11 - Lake Park - 301 3rd Ave
- 12 - Antigo Lake RV Park and Campground - 815 Hudson St
- 13 - Kretz Park - 224 3rd Ave
- 14 - Little League - 830 Langlade Rd
- 15 - City Park West - 230 Aurora St

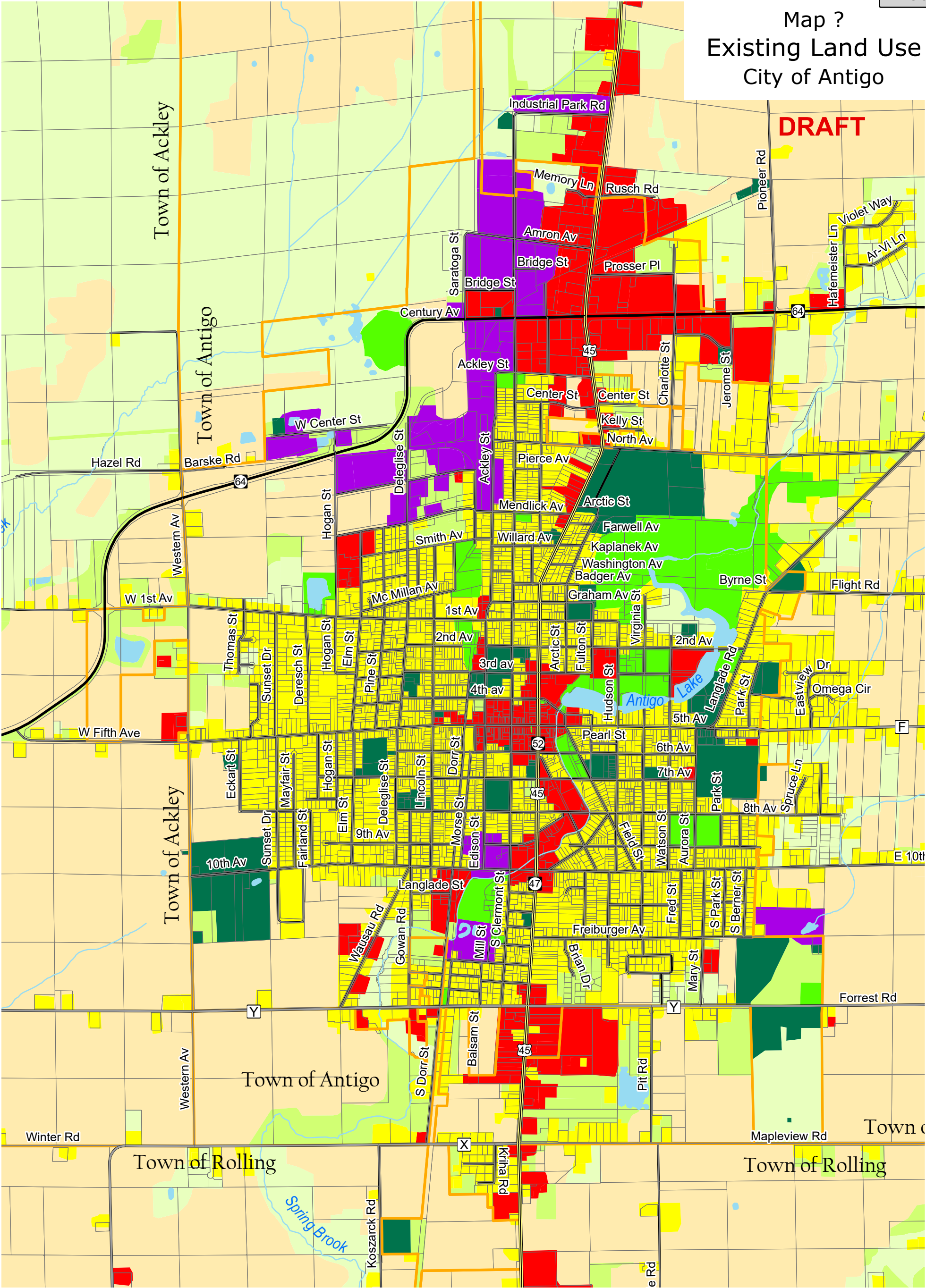
- 16 - Schofield Stadium - 1305 5th Ave
- 17 - Antigo HS Rec Fields - 2039 10th Ave
- 18 - Jaycee Park - 915 10th Ave
- 19 - Cherry Street Park - 422 S Clermont St
- 20 - North Clermont Playground - 725 Ackley St
- 21 - Hudson Park - 728 Hudson St
- 22 - Senior League Ball Diamond - 215 3rd Ave
- 23 - City Park East - 231 Aurora St
- 24 - Peaceful Valley - 420 Field St
- 28 - Springbrook Trail
- 29 - Disc Golf Course
- 30 - Trail Head - 608 4th Ave
- 31 - Kingsbury Park - 707 5th Ave
- 32 - Robin's Roost Park - 641 Superior St

- 25 - Antigo - 400 Aurora St
- 26 - Bohemia - 409 S Western Ave
- 27 - Elmwood - W9651 Forrest Ave

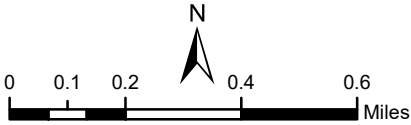
Table : Housing Characteristics, 2015											
	Single-Family Detached		Single-Family Attached		Duplexes		3-9 Units		10+ Units		
	#	%	#	%	#	%	#	%	#	%	
Antigo	2,482	61.79%	20	0.50%	438	10.90%	440	10.95%	596	14.84%	
Marinette	3,722	67.51%	71	1.29%	489	8.87%	386	7.00%	502	9.11%	
Merrill	2,901	63.59%	17	0.37%	443	9.71%	453	9.93%	642	14.07%	
Rhineland	2,494	61.99%	100	2.49%	398	9.89%	321	7.98%	430	10.69%	
Shawano	2,616	60.43%	172	3.97%	391	9.03%	501	11.57%	519	11.99%	
Waupaca	1,503	51.19%	224	7.63%	113	3.85%	403	13.73%	630	21.46%	

Map ?
Existing Land Use
City of Antigo

DRAFT



- | | | |
|-------------------------|--------------------------------|----------------------|
| — US Highways | — Agriculture | — Outdoor Recreation |
| — State Highways | — Commercial | — Residential |
| — County Highways | — Governmental / Institutional | — Transportation |
| — Local Roads | — Industrial | — Water |
| — Minor Civil Divisions | — Multi-Family | — Woodlands |
| — Water | — Open Lands | |
| — Parcels | | |



Source: WI DNR, NCWRPC, FEMA
This map is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, information and data used for reference purposes only. NCWRPC is not responsible for any inaccuracies herein contained.