

CITY OF ANTIGO
CITY PLAN COMMISSION
MINUTES OF MEETING HELD
OCTOBER 03, 2017

City Plan Commission of the City of Antigo met in Regular Meeting on the above date at 6:00 PM in the Multi-Purpose Room, City Hall, Mayor Bill Brandt presiding.

Attendee Name	Title	Status	Arrived
Reinhardt Balcerzak	Ward 8	Present	
Bill Brandt	Mayor	Present	
Charley Brinkmeier	Member	Absent	
Jerry Rice	Member	Absent	
Tim Sharon	Member	Present	
Larry Steckbauer	Member	Present	
Gordon Neve	Member	Present	

Others in attendance: Mark Desotell, Director of Administrative Services; Roger Musolff, Building Inspector/Zoning Administrator; Charley Zanayed, CoVantage Credit Union; and Jaime Horswill, Clerical/Utility Assistant.

Discussion and Action May Occur on Any of the Following Agenda Items:

1. Approval of the Minutes from the August 1, 2017 Meeting

RESULT:	CARRIED [UNANIMOUS]
MOVER:	Larry Steckbauer, Member
SECONDER:	Tim Sharon, Member
AYES:	Balcerzak, Brandt, Sharon, Steckbauer, Neve
ABSENT:	Charley Brinkmeier, Jerry Rice

2. CoVantage Expansion

Charley Zanayed, CoVantage Credit Union, gave a power point presentation. The presentation showed that in 2017 CoVantage Credit Union has close to 100,000 member-owners, up from approximately 75,000 in 2012. There are approximately 205 staff in Langlade County as of August 2017 up from 146 in 2012. Mr. Zanayed noted that the current CoVantage Headquarters can hold 200 employees and it is at capacity. After completion of construction the building will be able to hold 300 employees. CoVantage employs 380 people across all of the communities they serve. They feel they have an obligation to all of the communities they serve and especially Antigo where they were founded. They are grateful for all of their employees including the 205 Langlade County based employees who enable CoVantage to be a mission focused cooperative that is ranked in the top 1% of financial institutions in the country in member satisfaction.

Mr. Zanayed explained that the total square footage would increase from 48,261 to 72,662. The plans are scheduled to be complete in January 2018, with construction to begin in March 2018 and completed in May 2019.

Upon inquiry by Larry Steckbauer, Mr. Zanayed noted that he felt confident that the expansion would cover the space needs CoVantage has.

Mr. Zanayed noted that CoVantage owns the home directly south of the current building, which they plan to keep, however, the staging area will be at this location.

Upon inquiry by Tim Sharon, Mr. Zanayed advised that CoVantage does not own any property to the west of the drive-thru. The property they did purchase previously was torn down and turned into the current parking lot.

Mayor Brandt noted that the east side of the current building would be squared off and become part of the building and a complete third story would be built over the entire area, including the newly expanded portion on the east side.

Mayor Brandt noted that when CoVantage was originally built, it was built with this expansion in mind.

Mark Desotell, Director of Administrative Services, noted that he and staff have looked at rearranging the municipal parking lot (behind the Post Office).

Tim Sharon noted that parking will be a short term problem with construction.

Mayor Brandt noted that if the parking ordinances need to be amended for a short period of time, the City can do this.

Mr. Zanayed showed members where the fiber optic lines and electrical lines are and noted that they will have to be moved. The generator will be upgraded and moved behind the white house they own south of CoVantage.

Upon inquiry by Alderperson Balcerzak, Mr. Zanayed noted that they are not changing the redundancy that they use for internet. They currently have two lines. The internet will be relocated, but will remain the same.

Upon inquiry by Mr. Desoell, Mr. Zanayed noted that traffic will not be blocked for any significant time. Parking on the road may be blocked while beams are being lifted, but nothing long term.

Motion to approve the CoVantage Credit Union expansion and site plans as presented.

RESULT:	CARRIED [UNANIMOUS]
MOVER:	Gordon Neve, Member
SECONDER:	Reinhardt Balcerzak, Ward 8
AYES:	Balcerzak, Brandt, Sharon, Steckbauer, Neve
ABSENT:	Charley Brinkmeier, Jerry Rice

Any Other Matters Authorized by Law to be Considered

NONE

Adjournment

1. **Motion to:** Adjourn at 6:18 pm

RESULT:	CARRIED [UNANIMOUS]
MOVER:	Tim Sharon, Member
SECONDER:	Larry Steckbauer, Member
AYES:	Balcerzak, Brandt, Sharon, Steckbauer, Neve
ABSENT:	Charley Brinkmeier, Jerry Rice

Bill Brandt, Chairperson

Date



To: Mayor and City Council
From: Charley Brinkmeier, Land Surveyor/Project Manager
Date: October 03, 2017
Re: CoVantage Expansion

CoVantage has submitted plans to expand their main office at Clermont St. They are proposing to expand the foot print as well as add an additional third floor. The attached plans have been reviewed by all City departments with no comments or corrections. We are recommending approval of the CoVantage expansion.

CoVantage Credit Union

Addition & Renovations



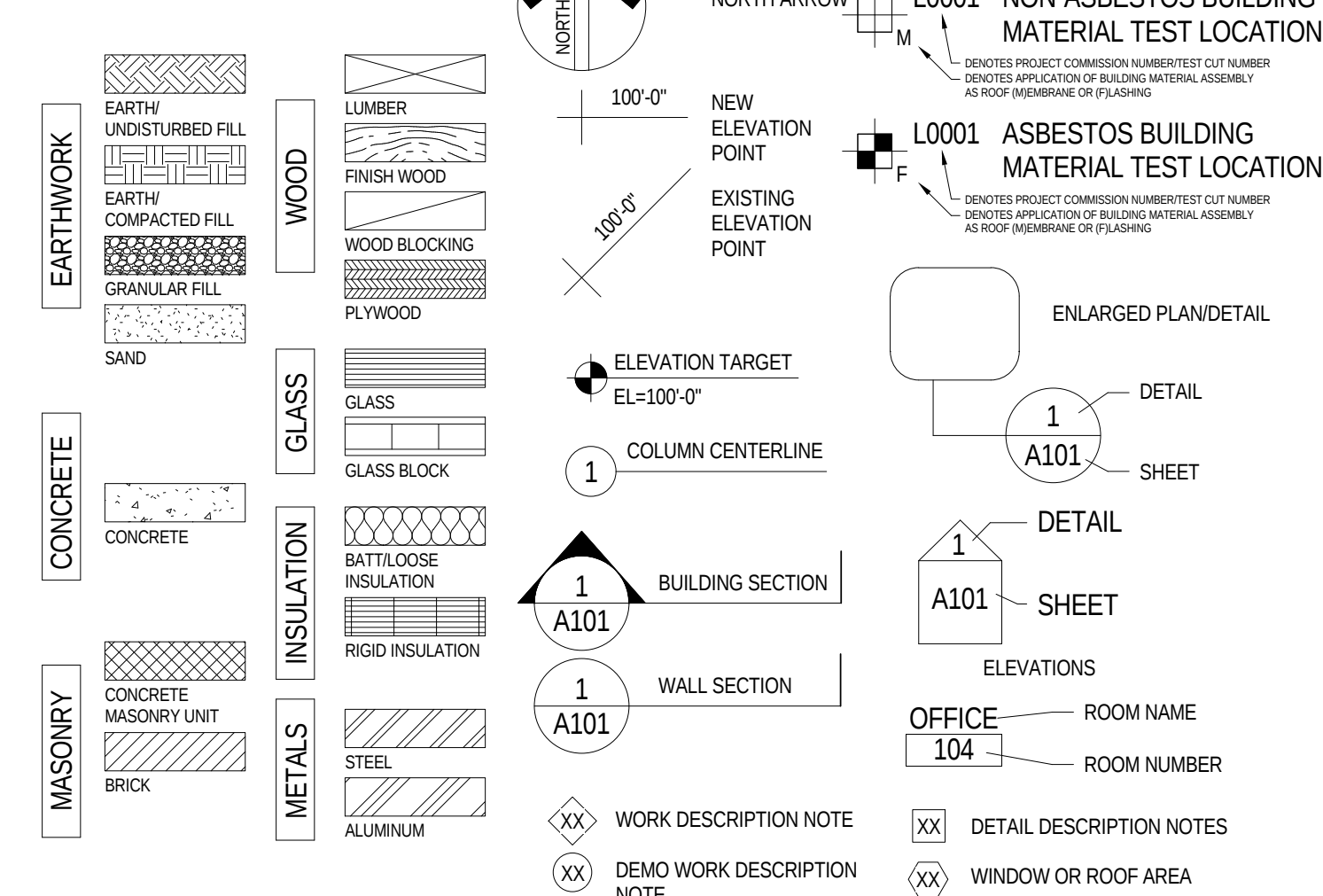
723 Sixth Avenue
Antigo, WI 54409



ABBREVIATIONS

#	NO	NUMBER	POUND	F	FEL	FINISH FLOOR ELEVATION	PSF	POUNDS PER SQUARE FOOT
		# IN LB	POUND	FL	FL	FIBER GLASS	PSI	POUNDS PER SQUARE INCH
AB	ANCHOR BOLT			FLD	FLD	FLOOR DRAIN	PVC	POLYVINYL CHLORIDE
ABD	ABANDONED			FLG	FLG	FLASHING	PWD	POLYWOOD
ABV	ABOVE			ROC	ROC	FACE OF CURB		
AC	ASPHALT/CONCRETE			FR	FR	FALL PROTECTION	R	RADIUS
ACC	AIR CONDITIONING			FSR	FSR	FLEXIBLE SHEET ROOFING	RA	REINFORCED ASPHALT EMULSION
AD	AIR DUCT			FTC	FTC	FOOTING	RC	RC CEMENT
ADD	ADDENDUM			FVAV	FVAV	FAN POWERED AIR VOLUME BOX	RCP	REINFORCED CONCRETE PIPE
ADDN	ADDENDUM			FVHWD	FVHWD	FIRE FREEZE WALL HYDRANT	RCF	ROOF DRAIN
ADH	ADHESIVE			FXC	FXC	FIRE EXTINGUISHER	RE	RN ELEVATION
ADHCT	ADHESIVE/ENGINEER					FIRE EXTINGUISHER CABINET	REIN	REINFORCED
AE	ASPHALT EMULSION			GA	GA	GUAGE	REQD	REQUIRED
AFF	ABOVE FINISH FLOOR			GALV	GALV	GALVANIZED	RF	RETURN FAN
AG	AGGREGATE			GC	GC	GENERAL CONTRACTOR	RF	ROOFING
ALT	ALTERNATE			GMJ	GMJ	GLAZED CONCRETE MASONRY	RG	RETURN GRILLE
ALUM	ALUMINUM			GR	GR	GLAZED/IRON	RM	ROOM
APPROX	APPROXIMATELY			GPM	GPM	GALLONS PER MINUTE	RS	ROUGH OPENING
ARCH	ARCHITECT			GRV	GRV	GRAVITY ROOF VENT	RR	RETURN REGISTER
ASBS	ASBESTOS			GYP	GYP	GYPSPUM	RBD	RELIEF ROOF DRAIN
ASPH	ASPHALT			GYP BD	GYP BD	GYPSPUM WALLBOARD	RDF	ROOF DRAIN
AZ	ALUMINUM ZINC			HB	HB	HOSE BIB	RTU	ROOF TOP UNIT
				HC	HC	HOLLOW CORE	RV	RELIEF VENT
B	BOTTOM OF			HDB	HDB	HUB DRAIN		
BAB	BALD AND BURLED			HDE	HDE	HIGH DENSITY POLYETHYLENE	S	SILENCER
BD	BOARDS			HME	HME	HEADWARE	SA	SATLITE
BDO	BOILED			HP	HP	HEIGHT	SA	SUPPLY DISH
BFG	BASE FLASHING			HL	HL	HOLLOW METAL	SB	SOL BORE
BFP	BACKFLOW PREVENT			HMG	HMG	HOLLOW METAL GALVANIZED	SC	SOLID CORE
BIT	BITUMINOUS			HMI	HMI	HOLLOW METAL INSULATED	SCP	SCIPPER
BTD	BTD JOINT			HML	HML	HOLLOW METAL INSULATED & GALV	SCN	SCHEDULE
BLG	BUILDING			HORIZ	HORIZ	HORIZONTAL	SCHL	SCHOOL
BLNG	BLOCKING			HP	HP	HORSPORSE	SD	STORM DRAIN
BM	BEAM			HR	HR	HOUR	SD	SUPPLY FAN
BMK	BENCH MARK			HVAC	HVAC	HEATING, VENTILATING AND AIR CONDITIONING	SG	SUPPLY GRILLE
BOC	BACK OF CURB			HW	HW	HOT WATER	SH	SHOWER HEAD
BOT	BOTTOM						SHT	SHEET
BRG	BEARING			ID	ID	INSIDE DIAMETER	SIM	SIMILAR
BRZ	BROZE			IE	IE	INVERT ELEVATION	SK	SINK
BS	BOTH SIDES			I	I	INLET	SKT	SKYLIGHT
BUR	BUILT-UP ROOFING			INFO	INFO	INFORMATION	SUNT	SUNLIT
				INSUL	INSUL	INSULATION	SWC	SEAL METAL CONTRACTOR
CB	CATCH BASIN			INT	INT	INTERIOR	SWP	SUMP PUMP
CC	CENTER TO CENTER			IR	IR	INTERMEDIATE RIB	SPEC	SPECIFICATION
CE	CEMENT			IV	IV	INSULATION VENT	SQ	SQUARE
CFM	CUBIC FEET PER MINUTE						SR	SUPPLY REGISTER
CH	CABINET HEATER			J	J	JOINT	SS	STAINLESS
CHAM	CHAMFER			K	K	KIP	SSK	SERVICE SINK
CHT	CEILING HEIGHT			KT	KT		ST	STORM
CI	CAST IRON			KS	KS	KITCHEN SINK	STA	STATION
CIP	CAST-IN-PLACE			KW	KW	KILOWATT	STD	STANDARD
CIRC	CIRCUMFERENCE						STL	STEEL
CJ	CORNER JOINT			LAM	LAM	LAMINATED	STOR	STORAGE
CL	CENTERLINE			LAV	LAV	LAVATORY	SUSP	SUSPENDED
CLG	CEILING			LG	LG	LONG	SV	SMOKE VENT
CLK	CAULK			LN	LN	LINEAR	SVS	SYSTEM
CLP	CORRUGATED METAL PIPE			LL	LL	LONG LEG		
CMU	CONCRETE MASONRY UNIT			LLV	LLV	LONG LEG VERTICAL	T	TOP
CNTR	COUNTER			LV	LV	LOVE	TO	TONGUE AND GROOVE
CN	CLEAN OUT			LVL	LVL	LOUVER	TC	TEMPERATURE CONTROL
COL	COLUMN LINE			LWC	LWC	LIGHT WEIGHT CONCRETE	TEMP	TEMPERATURE
CONC.BLK	CONCRETE BLOCK			M	M	MASONRY	TERM	TERMINATION
CONC	CONSTRUCTION			MATL	MATL	MATERIAL	THK	THICK X THICKNESS
CONTR	CONTINUOUS			MAX	MAX	MANUAL AIR VENT	TG	TRANSFER GRILLE
CORR	CORRUGATED			MAV	MAV	MAXIMUM	TJ	TOP OF JOIST
CPC	CIRCULATING PUMP			MB	MB	MOD BASIN	TJ	TOP OF MASONRY
CPE	CORRUGATED POLYETHYLENE			MBR	MBR	MODIFIED BITUMEN ROOFING	TMP	TEMPERED
CPT	CARPET			MD	MD	METAL DAMPER	TOC	TOP OF CURB
CPS	CORRUGATED STEEL PIPE			MCH	MCH	MECHANICALLY FINISH	TRC	TEMPERATURE SENSOR
CSP	CHLOROSULFONATED POLYETHYLENE			MET	MET	METAL	TYP	TYPICAL
CTR	CENTER			MFR	MFR	MANUFACTURER		
CU	COLD WATER			MN	MN	MANHOLE	U	URNAL
CWF	CEMENTITIOUS WOOD FIBER			MO	MO	MINIMUM	UC	UNDERCUT
				MS	MS	MISCELLANEOUS	UH	UNIT HEATER
D8L	DOUBLE			MO	MO	MASONRY OPENING	UL	UNDERWRITERS LABORATORIES
DEG	DEGREE			MMD	MMD	MOTOR OPERATED DAMPER	UVR	UNFINISHED VAPOR RETARDER
DF	DRINKING FOUNTAIN			MRO	MRO	MATERIAL	UNO	UNLESS NOTED OTHERWISE
DG	DOOR DRILL			MRD	MRD	MOTOR ROOF DECK		
DA	DIAMETER			MS	MS	MOD SINK	V	VINYL
DF	DIFFUSER			MTO	MTO	MOUNTED	VAV	VARIABLE AIR VOLUME BOX
DIM	DIMENSION			MTL	MTL	MATERIAL	VB	VAPOR BARRIER
DS	DOWNSPOUT			MV	MV	MIXING VALVE	VCT	VINYL COMPOSITION TILE
DT	DRAIN TUBE						VOT	VERTICAL
DTL	DETAIL			NC	NC	NOT IN CONTRACT	VEST	VESTIBULE
DW	DISHWASHER			NM	NM	NOMINAL	VTR	VENT THRU ROOF
DWM	DRAINING			NBR	NBR	NARROW RIB		
EA	EXHAUST AIR			NNT	NNT	NOT TO SCALE		
EC	ELECTRICAL CONTRACTOR						W	WITH
EF	ELECTRICAL			OAC	OAC	OUTSIDE AIR	WO	WITHOUT
EG	EXHAUST GRILLE			OAO	OAO	OPENING ABOVE CEILING	WC	WATER CLOSET
EXP	EXPANSION JOINT			OAI	OAI	OUTSIDE AIR INTAKE	WCO	WALL CLEAN OUT
ELEV	ELEVATION			OD	OD	OUTSIDE DIAMETER	WO	WOOD
ELEC	ELECTRICAL			OP	OP	OVERHEAD POWER LINES	WDR	WALL DRAIN
EUP	ELECTRIC			OPNG	OPNG	OPENING	WDR	WATER HEATER
ELP	ELEG OF PAYEMENT			ORG	ORG	ORIGINAL	WHYD	WALL HYDRANT
EPDM	ETHYLENE PROPYLENE DIENE MONOMER			OWJ	OWJ	OPEN WE JOIST	WP	WATERPROOFING
EQ	EQUAL						WR	WIDE RIB
EQUIP	EQUIPMENT			OC	OC	CLUMCE	WS	WALL SECTION
ER	EQUIPMENT REGISTER			PZ	PZ	PLUMBING CONNECTION	WWF	WELDED WIRE FABRIC
EST	ESTIMATE			PCC	PCC	PRECAST CONCRETE		
EWC	ELECTRIC WATER COOLER			PEN	PEN	PENTHOUSE	YD	YARD
EWI	ELECTRIC WATER HEATER			PERF	PERF	PERFORATED	YH	YARD HYDRANT
EXG	EXISTING			PRE	PRE	PRE-FINISHED	YR	YEAR
EXP	EXPOSED			PB	PB	POLYISOBUTYLENE		
EXP JT	EXPANSION JOINT			PL	PL	PLATE		
EXT	EXTERIOR			PLT	PLT	PLASTIC		
				PNT	PNT	PAINT		
FAI	FRESH AIR INTAKE			PP	PP	PITCH POCKET		
FCO	FLOOR CLEAN OUT			PPI	PPI	PIPE PENETRATION		
FD	FIRE DAMPER			PRFAB	PRFAB	PREFABRICATED		
FDN	FOUNDATION			PRV	PRV	POWERED ROOF-VENT		
FE	FINISHED END					PIPE SEAL		

SYMBOLS KEY



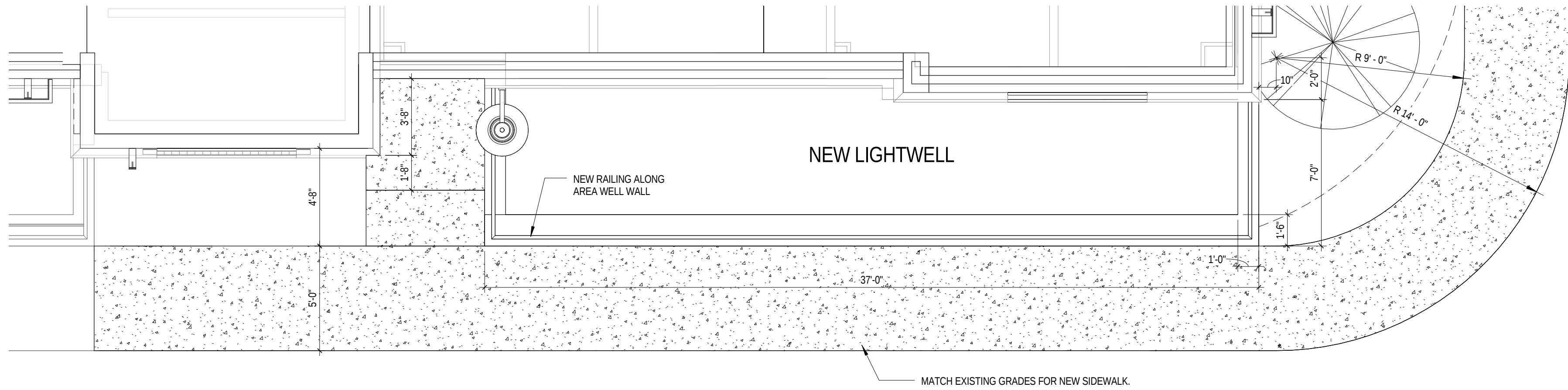
AREA MAP



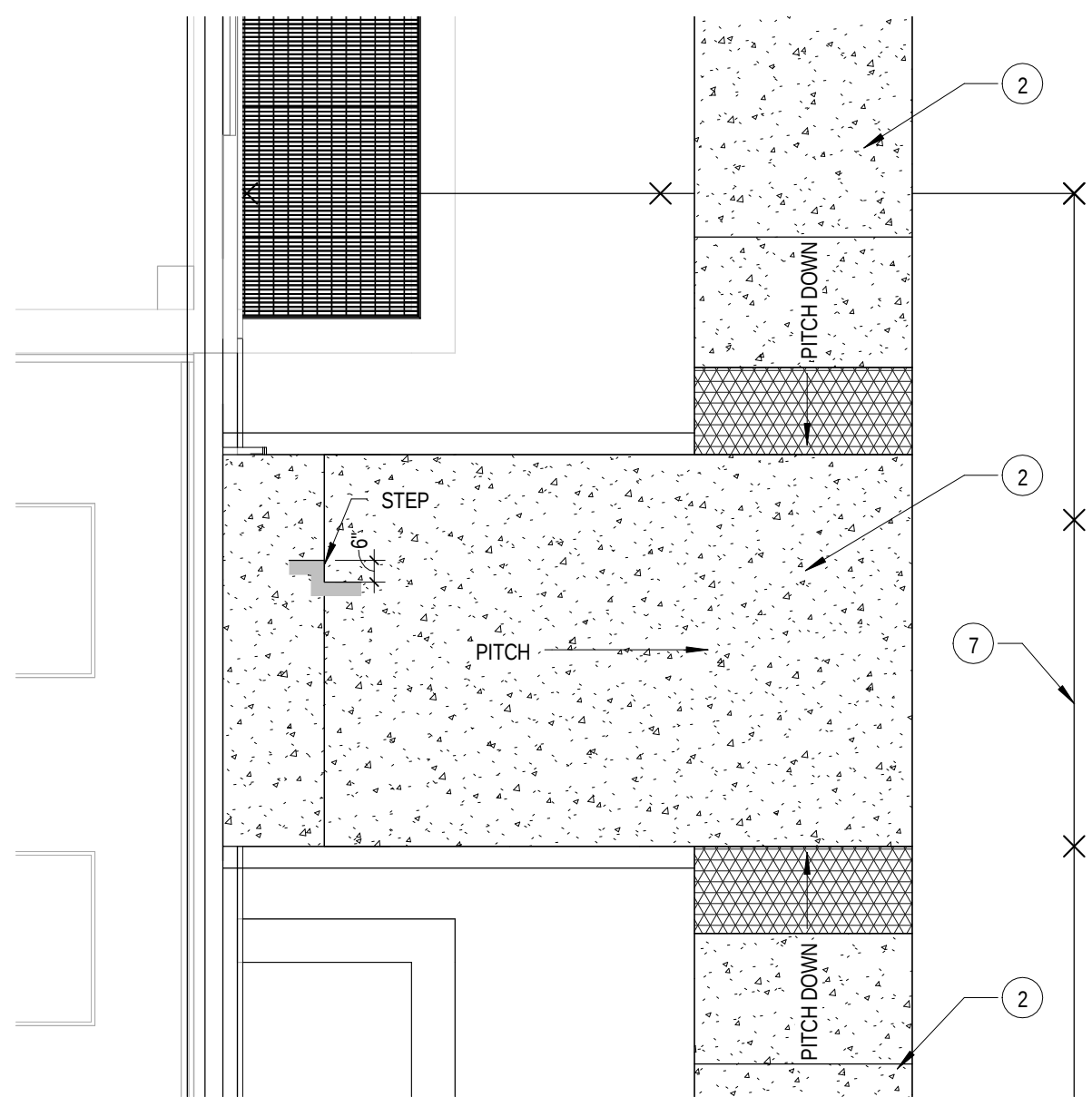
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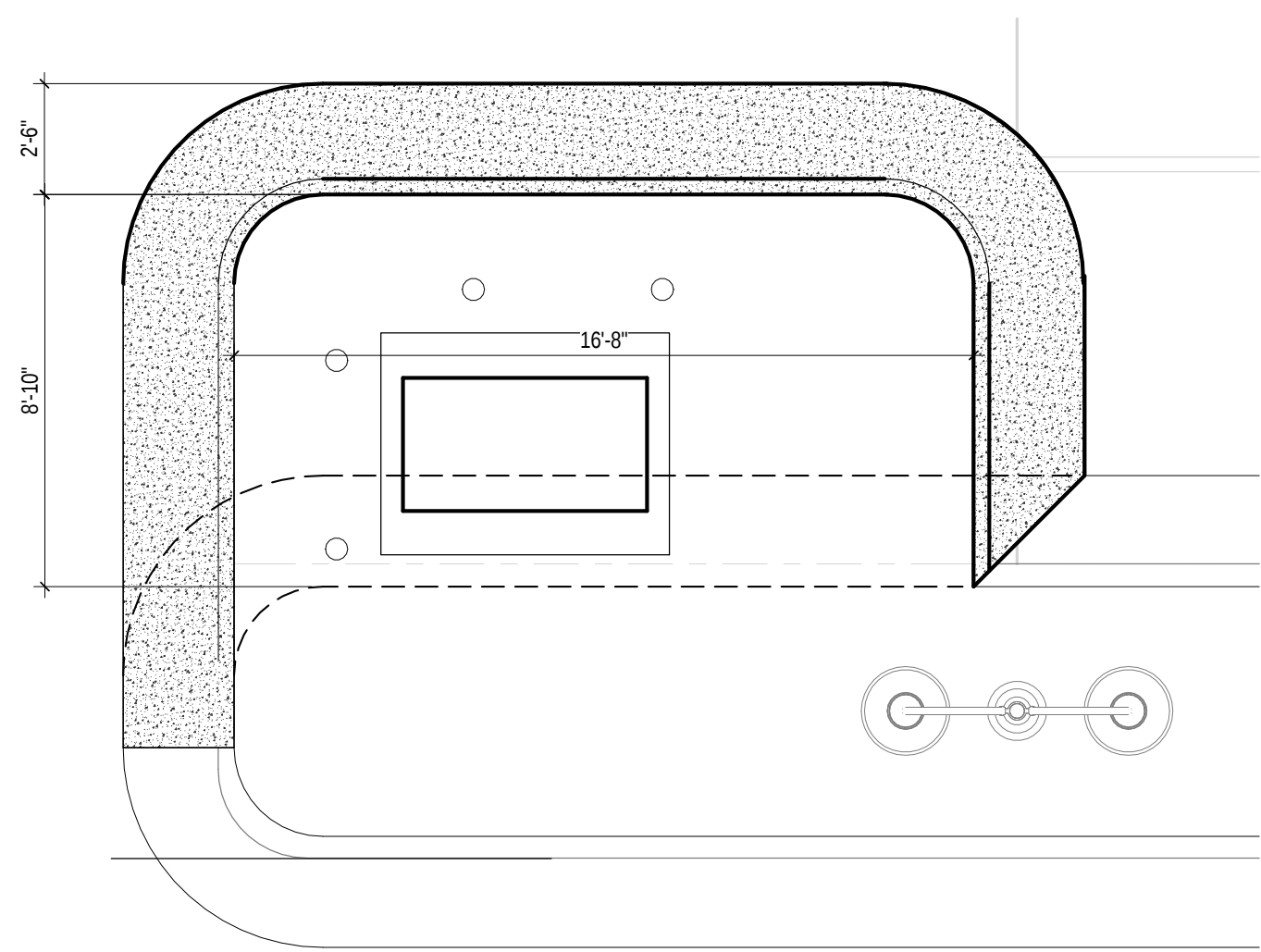
ENGINEER	ENGINEER	ENGINEER
(NAME)	(NAME)	(NAME)
ARCHITECT	 MARTIN RILEY architects • engineers 2169 Carlton Road Oshkosh, Wisconsin 54904 www.martin-riley.com ph 920.267.3600	
(NAME)		
ENGINEER		
(NAME)	DATE 2017.09.05	SET NUMBER
ENGINEER	 MARTIN RILEY DOCUMENT IN PROGRESS NOT FOR CONSTRUCTION	
(NAME)		
COMMISSION NO. 017034		
Addition & Renovations		



2 Lightwell Detail
C100
1/4" = 1'-0"



3 Employee Entrance Detail
C100
1/4" = 1'-0"



4 ISLAND LAYOUT
C100
1/4" = 1'-0"

Site Demolition Notes

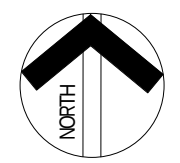
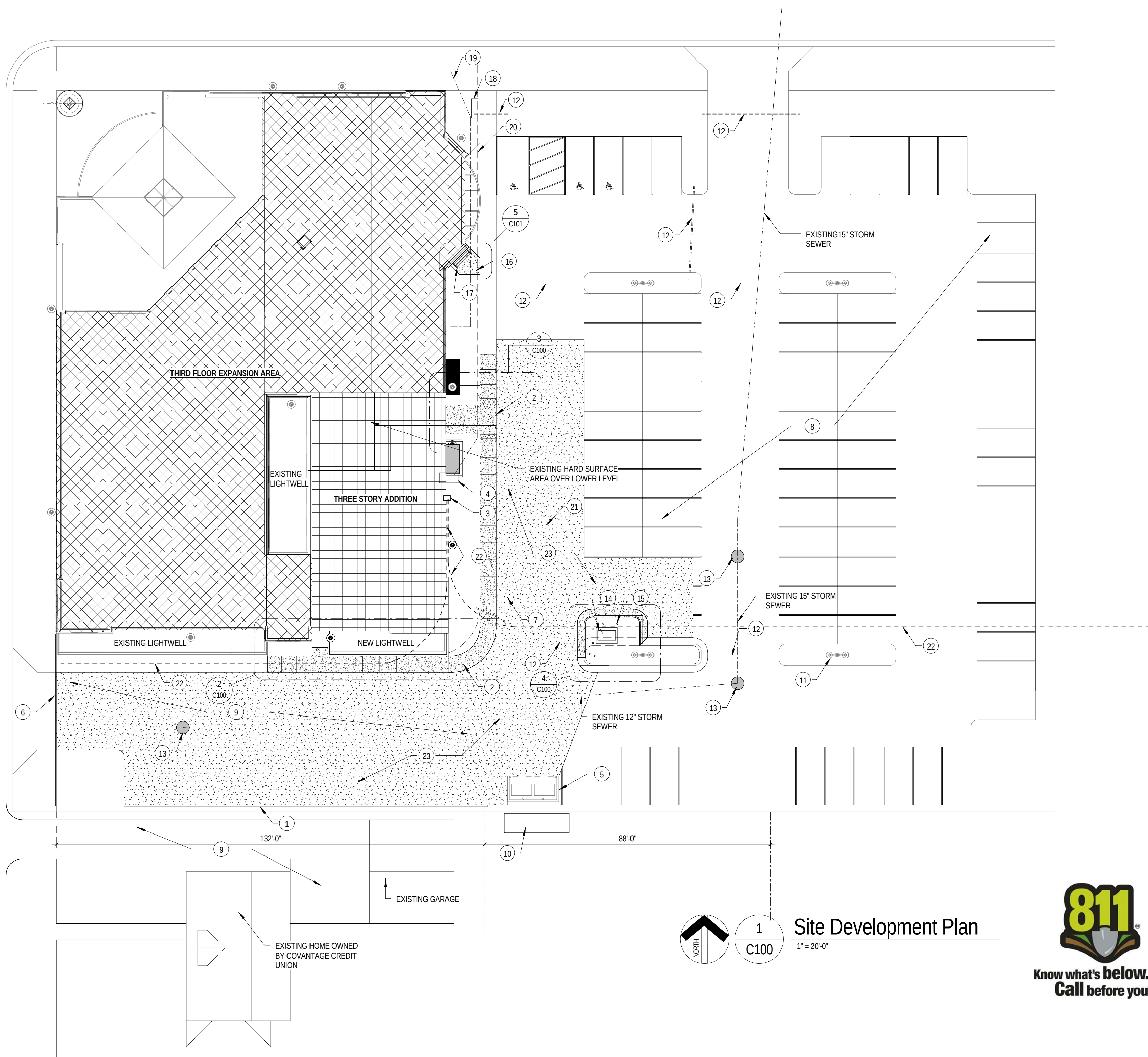
1. EXISTING CONCRETE RETAINING WALL TO REMAIN.
2. REMOVE EXISTING SIDEWALK AND CURB. REPLACE AFTER BACKFILLING HAS BEEN COMPLETED.
3. EXISTING TELEPHONE PEDISTAL BOX TO BE RELOCATED. VERIFY LOCATION WITH UTILITY.
4. EXISTING ELECTRICAL TRANSFORMER TO BE RELOCATED. VERIFY LOCATION WITH UTILITY.
5. EXISTING DUMPSTER ENCLOSURE TO REMAIN - MAINTAIN ACCESS DURING CONSTRUCTION.
6. CONSTRUCTION SITE ACCESS
7. CONSTRUCTION SITE FENCING
8. REMOVE EXISTING SIDEWALK AND CURB. REPLACE AFTER BACKFILLING HAS BEEN COMPLETED.
9. EXISTING CUSTOMER PARKING TO REMAIN OPEN DURING CONSTRUCTION ACTIVITIES.
10. CONSTRUCTION STAGGING AREA
11. FUTURE GENERATOR LOCATION
12. EXISTING POLE LIGHT
13. EXISTING CATCH BASIN IN PARKING LOT.
14. NEW LOCATION FOR UTILITY TRANSFORMER
15. NEW 6" PIPE BOLLARD. SEE DETAIL 4/C101.
16. 4" CONCRETE SLAB ON GRADE.
17. RELOCATED EXISTING BICYCLE RACK TO THIS LOCATION.
18. BENCH BY OWNER
19. EXISTING GAS LINE
20. EXISTING ELECTRICAL LINES
21. NEW ELECTRICAL LINES
22. EXISTING FIBER OPTIC AND CABLE LINE
23. REPLACE ASPHALT PAVING IN THIS AREA

General Demolition Notes

1. THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL OF ALL ITEMS REMOVED FROM THE BUILDING. ITEMS NOT WANTED BY OWNER SHALL BECOME PROPERTY OF CONTRACTOR AND SHALL BE DISPOSED OF LEGALLY OFF SITE.
2. FAILURE OF AFFECTED TRADES TO RECOGNIZE DEMOLITION AS A COMPONENT OF A SYSTEM SHALL NOT BE CAUSE FOR AN EXTRA.
3. CONTRACTOR SHALL REMOVE ALL INCIDENTAL ITEMS SURFACE MOUNTED TO WALLS, INCLUDED BUT NOT LIMITED TO EMERGENCY LIGHTS, SIGNAGE, ELECTRICAL COMPONENTS, ETC.
4. CONTRACTOR SHALL PATCH AND REPAIR ANY WALLS, FLOORS AND CEILINGS AFFECTED BY DEMOLITION.
5. DISCONNECT AND COMPLETELY REMOVE ALL CONDUIT, WIRE BOXES, ETC TO BE RENDERED OBSOLETE BY THIS WORK, UNLESS OTHERWISE NOTED. REMOVE WIRE & CONDUIT BACK TO ITS SOURCE.
6. MAINTAIN CONTINUITY OF EXISTING CIRCUITS AFFECTED BY DEMOLITION WORK. VERIFY THAT EQUIPMENT TO REMAIN IS FUNCTIONAL AFTER DEMOLITION.
7. CONTRACTOR SHALL DESIGN AND PROVIDE ALL TEMPORARY SHORING NECESSARY TO COMPLETE THE WORK.
8. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND REWORK TO ACCOMPLISH THIS PROJECT AS SET FORTH IN THESE DOCUMENTS. THE CONTRACTOR SHALL TAKE INTO CONSIDERATION ALL SHEETS TO DETERMINE THE FULL SCOPE OF DEMOLITION AND REWORK REQUIRED.
9. THE GENERAL CONTRACTOR SHALL PROTECT ALL ADJACENT BUILDING MATERIALS FROM DAMAGE AND SHALL MAINTAIN BUILDING SECURITY DURING THE DURATION OF THE PROJECT.

6TH AVENUE

CLERMONT STREET



1 Site Development Plan
C100
1" = 20'-0"



Know what's below.
Call before you dig.

C100

SITE DEVELOPMENT PLAN



MARTIN RILEY
architects • engineers
2169 Carlton Road
Oshkosh, Wisconsin 54904
www.martin-riley.com
ph 920.267.3600

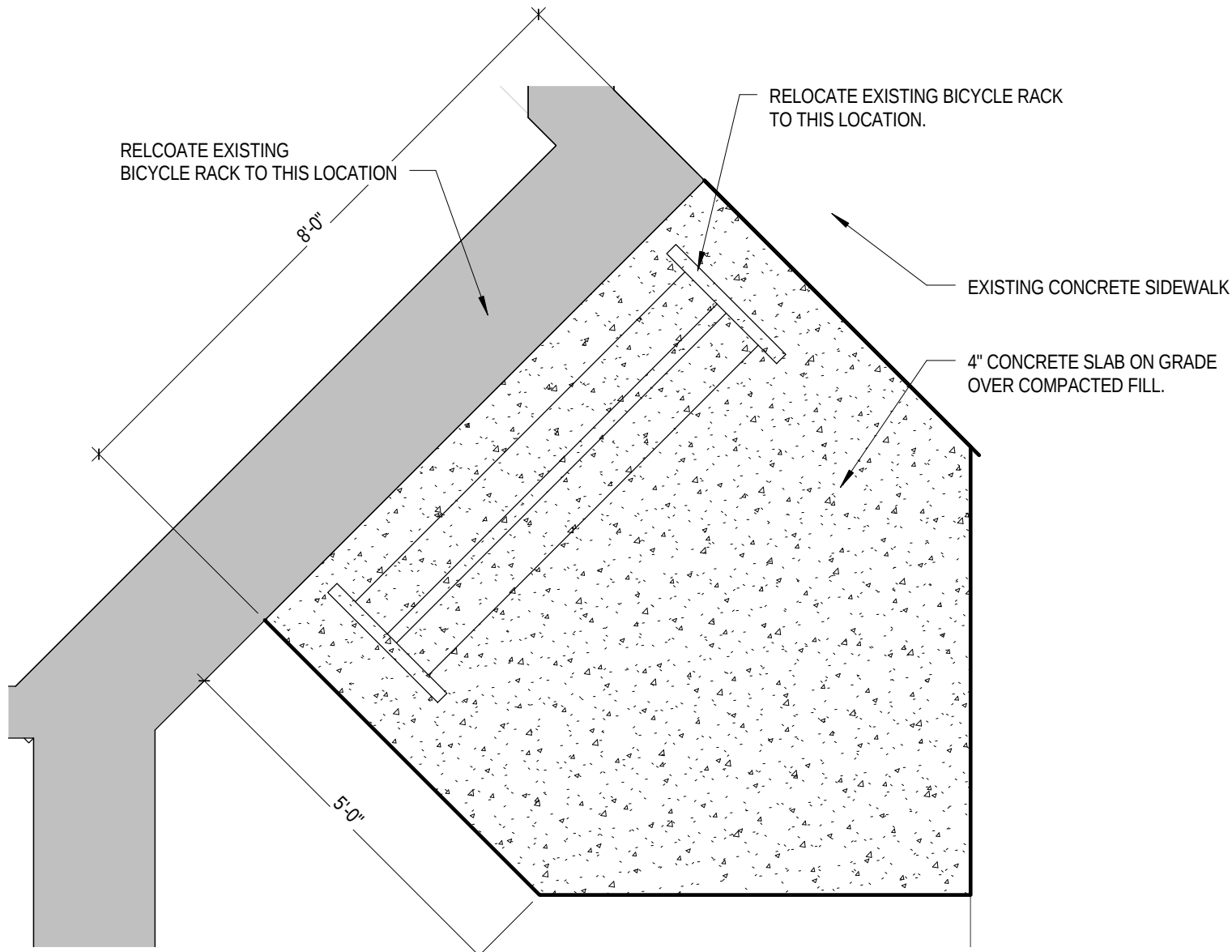
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MARTIN RILEY
DOCUMENT IN PROGRESS
NOT FOR CONSTRUCTION

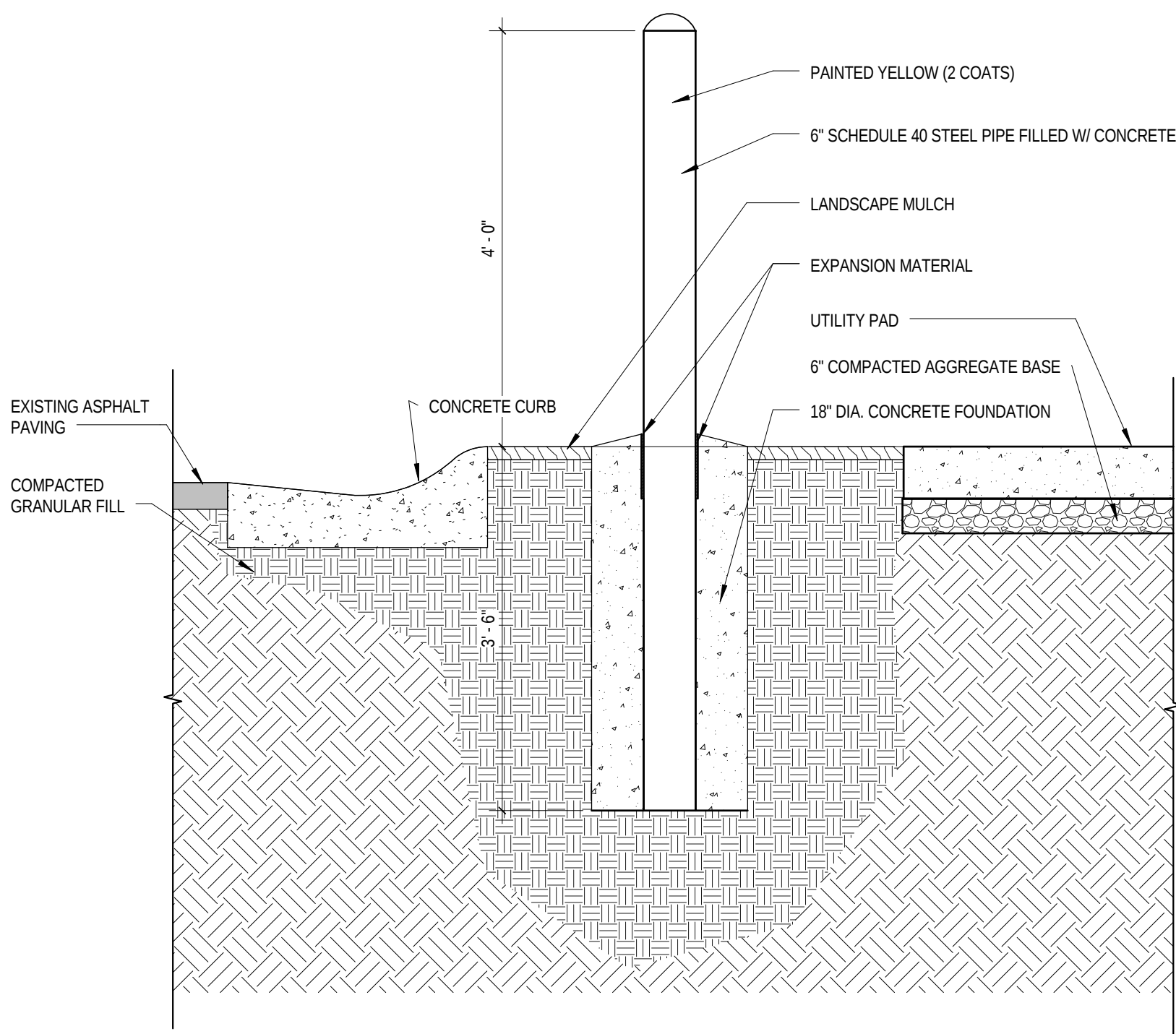
REVISION DATE

DRAWN BY: LC
COMMISSION NUMBER: 017034
REVIEWED BY: RHG
DATE: 2017.09.05

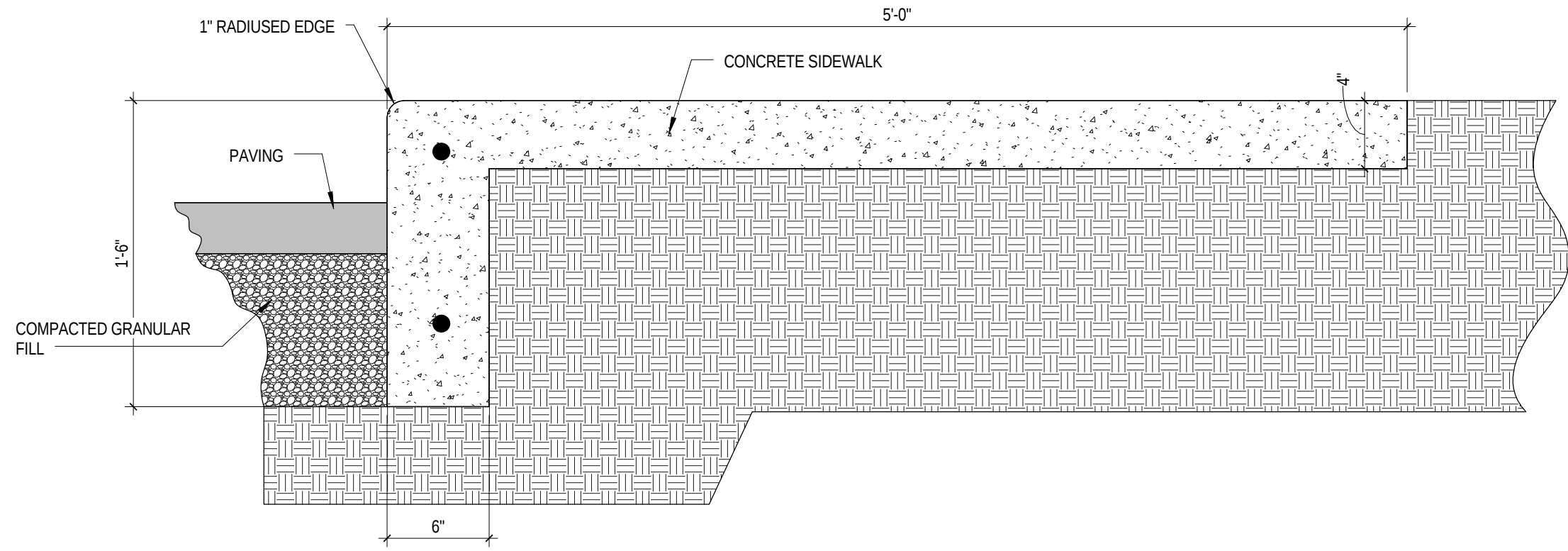
O17034 - Addition & Renovations
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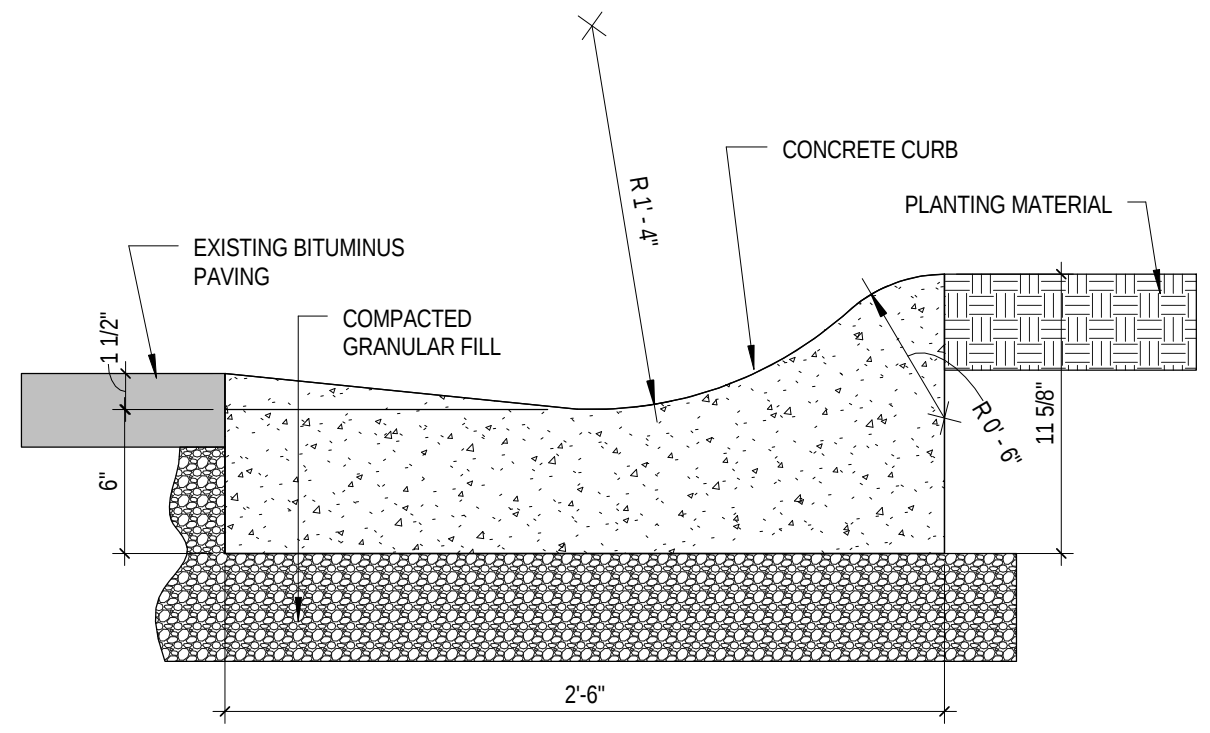
5 BICYCLE PAD DETAIL
1/2" = 1'-0"



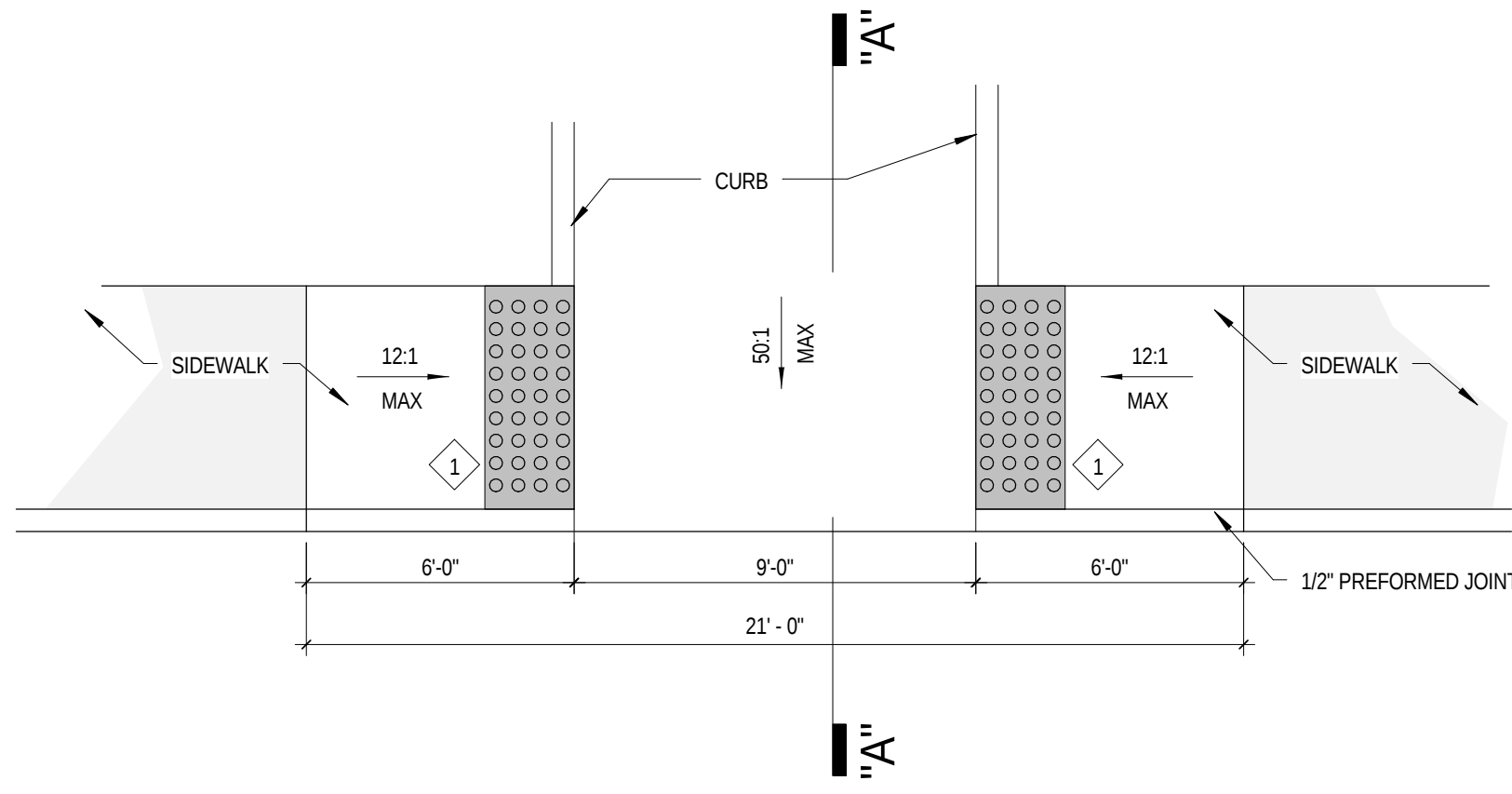
4 6" Pipe Bollard
3/4" = 1'-0"



3 THICKENED EDGE WALK
1 1/2" = 1'-0"

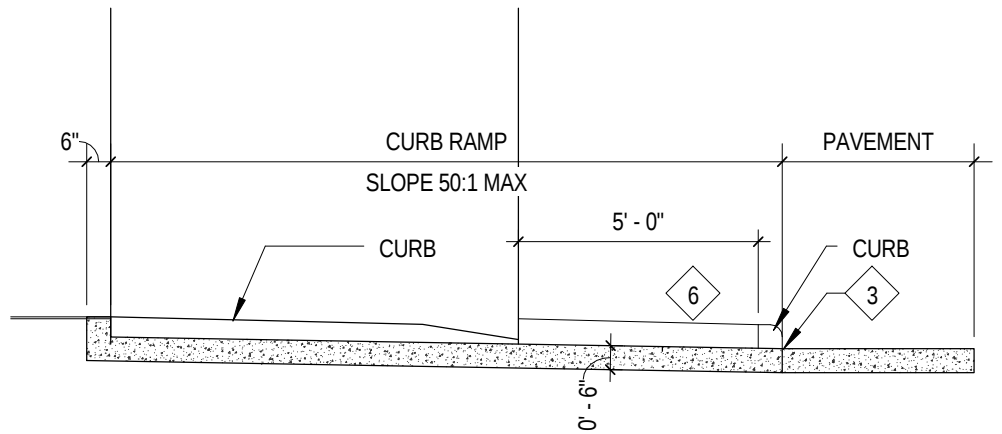


2 30" ROLLING CURBING
1 1/2" = 1'-0"

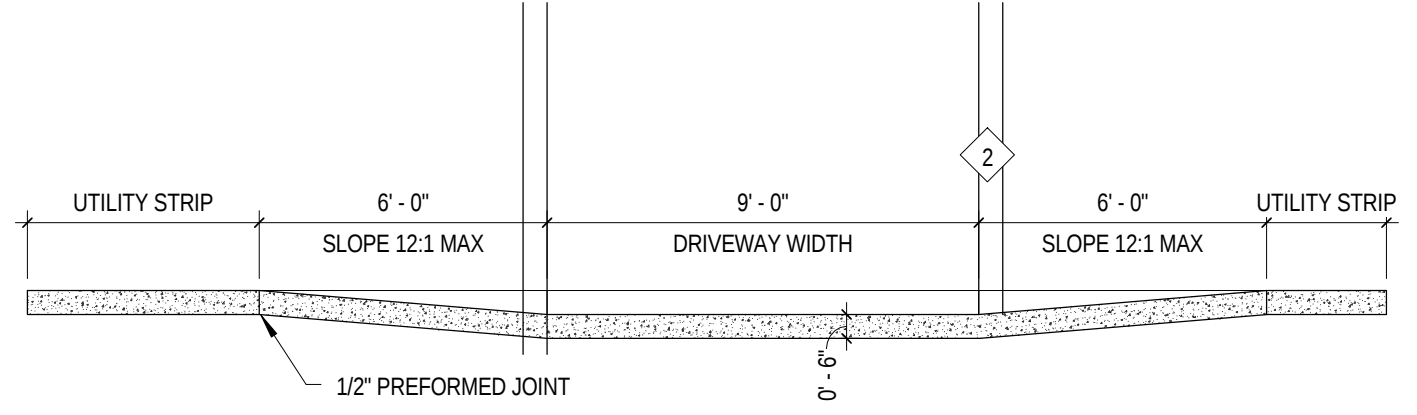


DETAIL NOTES

- 1 THESE DIMENSIONS ARE BASED ON A 6" CURB HEIGHT AND SHALL BE PROPORTIONALLY ADJUSTED FOR OTHER CURB HEIGHTS.
- 2 A 4'-0" MINIMUM WIDTH RAMP MAY BE USED WHEN EXISTING SPACE PROHIBITS THE CONSTRUCTION OF THE 6'-0" WIDE RAMP.
- 3 THE BOTTOM EDGE OF THE CURB RAMP SHALL BE FLUSH WITH THE EDGE OF THE ADJACENT PAVEMENT AND GUTTER LINE.
- 6 DETECTABLE WARNING SURFACE.



SECTION "A"



CURB ELEVATION

1 Curb Ramps
N.T.S.

An Addition & Renovation Project for :
CoVantage Credit Union
Addition & Renovations
723 Sixth Avenue
Antigo, WI 54409



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REVISION DATE

DRAWN BY: Author
COMMISSION NUMBER: O17034
REVIEWED BY: Checker
DATE: 2017.09.05



C101

SITE DETAILS

Attachment: CoVantage Credit Union (1767 : CoVantage Expansion)

An Addition & Renovation Project for :
CoVantage Credit Union
Addition & Renovations



CoVantage
CREDIT UNION



2169 Carlton Road
Oshkosh, Wisconsin 54904

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF MARTIN RILEY, INC. AND WERE CREATED, EVOLVED, AND DEVELOPED FOR USE CAL AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF THE IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DELEGATED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF MARTIN RILEY, INC. ANY WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS, SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR REVIEW FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH INFORMATION GIVEN AND THE DESIGN CONCEPT EXPRESSED IN THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH FABRICATION.



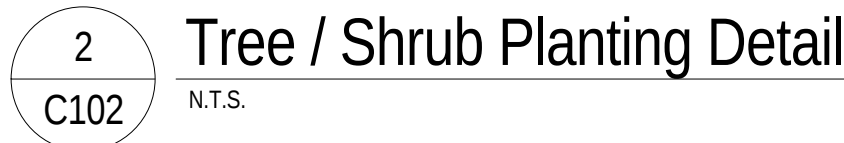
DOCUMENT IN PROGRESS
NOT FOR CONSTRUCTION

REVISION: _____ DATE: _____

DRAWN BY: Author
COMMISSION NUMBER: O17034
REVIEWED BY: Checker
DATE: 2017.09.05



Packet Pg. 7

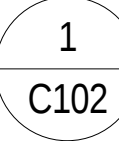
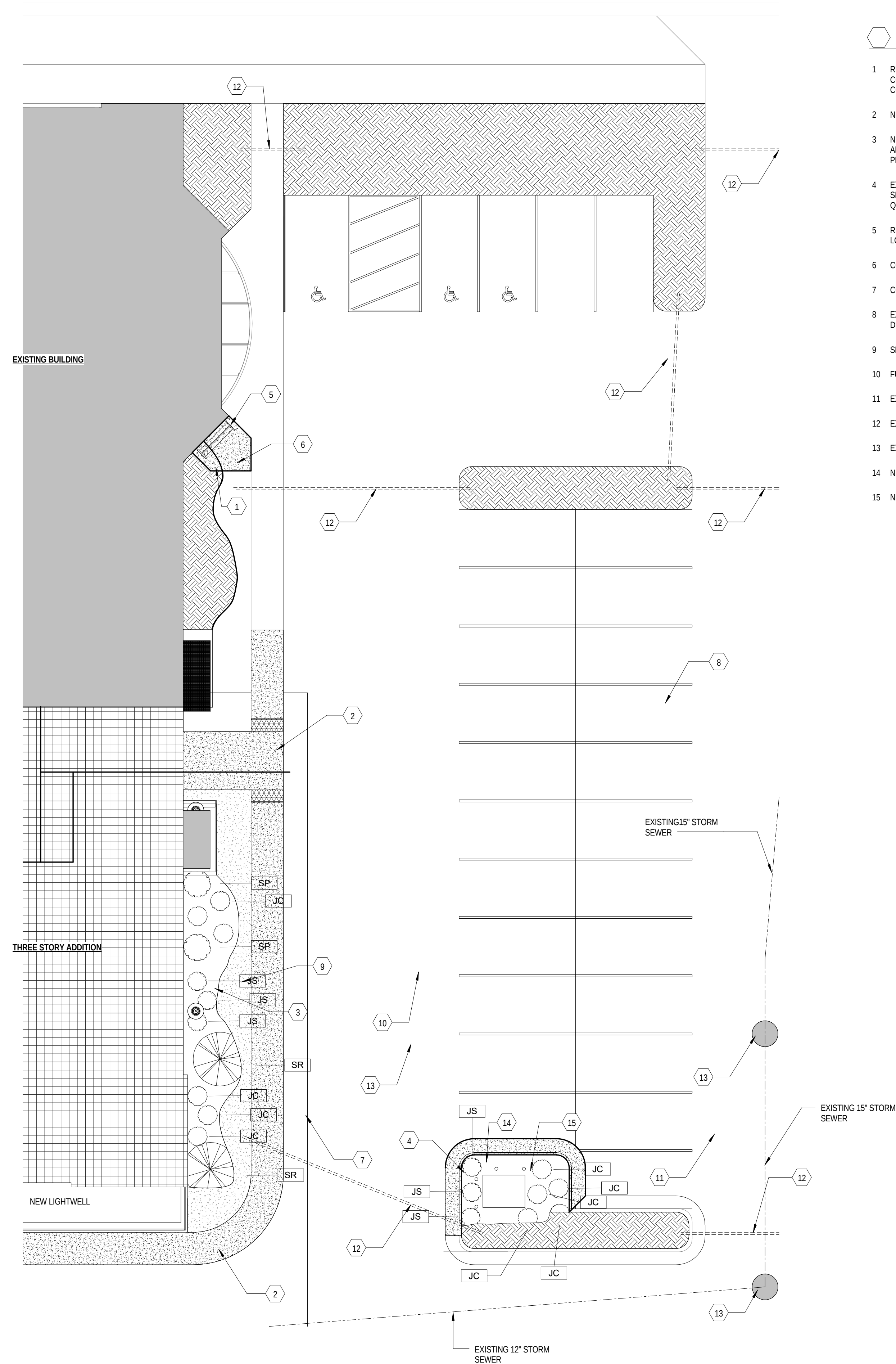


**** ALL FUTURE DEVELOPMENT WILL REQUIRE ADDITIONAL
LANDSCAPING PLANS TO BE SUBMITTED FOR REVIEW.

ALL APPROVED LANDSCAPING IS TO BE INSTALLED WITHIN ONE PLANTING SEASON OF THE LANDSCAPE/SITE DEVELOPMENT PLAN APPROVAL. ALL LANDSCAPING SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, NEAT AND ORDERLY APPEARANCE, AND FREE OF REFUSE AND DEBRIS. ALL PLANTINGS SHALL BE ARRANGED AND MAINTAINED SO AS NOT TO OBSCURE THE VISION OF TRAFFIC. ANY VEGETATION WHICH IS SHOWN ON THE APPROVED LANDSCAPE/SITE PLAN THAT DIES MUST BE REPLACED WITHIN ONE PLANTING SEASON PER APPROVED LANDSCAPE/SITE PLAN.

IT SHALL BE THE RESPONSIBILITY OF THE PRINCIPAL USE, OR USES TO PERFORM THE NECESSARY MAINTENANCE OF ALL LANDSCAPING, INCLUDING MOWING, TRIMMING, WATERING, AND FERTILIZATION OF ALL GRASS, GROUND COVER, SHRUBS OR TREES, AND REMOVAL OF DEAD OR WASTE MATERIAL.

PLANTING SCHEDULE				
ID	Name	Botanical Name	Size	Notes
SR		SYRINGA RETICULATA	1 1/2"-2" CAL.	


$$3/32'' = 1'-0''$$