



CITY OF ANTIGO

CITY PLAN COMMISSION MEETING

MULTI-PURPOSE ROOM

Tuesday, October 03, 2017

CITY HALL, 700 EDISON STREET

6:00 PM

Call to Order

Discussion and Action May Occur on Any of the Following Agenda Items:

1. Approval of the Minutes from the August 1, 2017 Meeting
2. CoVantage Expansion

Any Other Matters Authorized by Law to be Considered

Adjournment

Upon reasonable notice, efforts will be made to accommodate disabled individuals through appropriate aids and services. For additional information, contact Jaime Horswill, 700 Edison Street, Antigo, Wisconsin 54409. (715) 623-3633 extension 100. Members of and possibly a quorum of members of other governmental bodies may be in attendance to gather information. Any governmental body other than that specifically referred to above will take no action.

DATE MAILED: September 28,2017

BILL BRANDT



To: Mayor and City Council
From: Charley Brinkmeier, Land Surveyor/Project Manager
Date: October 03, 2017
Re: CoVantage Expansion

CoVantage has submitted plans to expand their main office at Clermont St. They are proposing to expand the foot print as well as add an additional third floor. The attached plans have been reviewed by all City departments with no comments or corrections. We are recommending approval of the CoVantage expansion.

CoVantage Credit Union Addition & Renovations



723 Sixth Avenue
Antigo, WI 54409



ABBREVIATIONS			
# or NO # or LB	NUMBER POUND	FFE	FINISH FLOOR ELEVATION
AB	ANCHOR BOLT	FGL	FIBER GLASS
ABD	ABANDONED	FIN	FINISHED
ABV	ABOVE	FID	FLOOR DRAIN
AC	ASPHALT/CONCRETE	FLG	FLASHING
ACC	AIR CONDITIONING	FOC	FACE OF CURB
AD	ACCESS	FP	FALL PROTECTION
AD	AREA DIVIDER	FSR	FLEXIBLE SHEET ROOFING
ADD	ADDENDUM	FTG	FOOTING
ADN	ADDITION	FVAV	FAN-POWERED AIR VOLUME BOX
ADH	ADHESIVE	FWHYD	NON-FREEZE WALL HYDRANT
AIE	ARCHITECT/ENGINEER	FX	FIRE EXTINGUISHER
AE	ASPHALT EMULSION	FXC	FIRE EXTINGUISHER CABINET
AF	ABOVE FINISH FLOOR		
AGG	AGGREGATE	GA	GUAGE
ALT	ALTERNATE	GALV	GALVANIZED
ALUM	ALUMINUM	GC	GENERAL CONTRACTOR
APPROX	APPROXIMATELY	GCNU	GLAZED CONCRETE MASONRY
AP	ACCESS PANEL	GI	GLAZED IRON
ARCH	ARCHITECT	GPM	GALLONS PER MINUTE
ASBS	ASBESTOS	GRV	GRAVITY ROOF-VENT
ASPH	ASPHALT	GYP	GYPSON
AZ	ALUMINUM ZINC	GYP BD	GYPSON WALLBOARD
B/	BOTTOM OF	HB	HOSE BIB
B&B	BALLED AND BURLAPPED	HC	HOLLOW CORE
BC	BOTTOM OF CURB	HD	HUB DRAW
BD	BOARD	HDPE	HIGH DENSITY POLYETHYLENE
BFLG	BASE FLASHING	HDWE	HARDWARE
BFP	BACKFLOW PREVENTER	HOT	HEIGHT
BT	BITUMINOUS	HM	HOLLOW METAL
BTJ	BED JOINT	HMG	HOLLOW METAL GALVANIZED
BLDG	BUILDING	IMI	HOLLOW METAL INSULATED
BLKG	BLOCKING	HMG	HOLLOW METAL INSULATED & GALV
BM	BEAM	HGRZ	HORIZONTAL
BMK	BENCH MARK	HP	HORSEPOWER
BOC	BACK OF CURB	HR	HOUR
BOTT	BOTTOM	HVAC	HEATING, VENTILATING AND AIR CONDITIONING
BRG	BEARING	HW	HOT WATER
BRZ	BRONZE	ID	INSIDE DIAMETER
BS	BOTH SIDES	IE	INVERT ELEVATION
BUR	BUILT-UP ROOFING	IL	INLET
		INFO	INFORMATION
CB	CATCH BASIN	INSUL	INSULATION
CC	CENTER TO CENTER	INT	INTERIOR
CEM	CEMENT	IR	INTERMEDIATE RIB
CFM	CUBIC FEET PER MINUTE	IV	INSULATION VENT
CHAM	CHAMFER	JT	JOINT
CHT	CEILING HEIGHT	K	KIP
CI	CAST IRON	KS	KITCHEN SINK
CP	CAST-IN-PLACE	KW	KILOWATT
CIRC	CIRCUMFERENCE		
CJ	CONTROL JOINT	LAM	LAMINATED
CL	CENTERLINE	LAV	LAVATORY
CLG	CEILING	LG	LONG
CLK	CAULK	LH	LONG LEG HORIZONTAL
CMP	CORRUGATED METAL PIPE	LLV	LONG LEG VERTICAL
CNU	CONCRETE MASONRY UNIT	LP	LIGHT POLE
CNTR	COUNTER	LTL	LINTEL
CO	CLEAN OUT	LVR	LOUVER
COL	COLUMN LINE	LWC	LIGHT WEIGHT CONCRETE
CONC	CONCRETE		
CONC BLK	CONCRETE BLOCK	MAS	MASONRY
CONST	CONSTRUCTION	MATL	MATERIAL
CONT	CONTINUOUS	MAV	MANUAL AIR VENT
CONTR	CONTRACTOR	MAX	MAXIMUM
CORR	CORRUGATED	MBS	MODIFIED BITUMEN ROOFING
CORR	CORRUGATING PUMP	MD	MANUAL DAMPER
CPE	CHLORINATED POLYETHYLENE	MECH	MECHANICALLY
CPT	CARPET	MET	METAL
CSP	CORRUGATED STEEL PIPE	MFR	MANUFACTURER
CSPE	CHLOROSULFONATED POLYETHYLENE	MH	MANHOLE
CTR	CENTER	MIN	MINIMUM
CW	COLD WATER	MISC	MISCELLANEOUS
CWF	CEMENTITIOUS WOOD FIBER	MOD	MOTOR OPERATED DAMPER
		MR	MARTIN RILEY
DBL	DOUBLE	MRO	METAL ROOF DECK
DEG	DEGREE	MS	MOP SINK
DF	DRINKING FOUNTAIN	MTD	MOUNTED
DG	DOOR GRILLE	MTL	MATERIAL
DIA	DIAMETER	MV	MIXING VALVE
DIFF	DIFFUSER		
DM	DIMENSIONAL	NIC	NOT IN CONTRACT
DS	DOWNSPOUT	NOM	NOMINAL
DT	DRAIN TUBE	NR	NARROW RIB
DTL	DETAIL	NTS	NOT TO SCALE
DW	DISHWASHER	OA	OUTSIDE AIR
DWG	DRAWING	OAC	OPENING ABOVE CEILING
EA	EXHAUST AIR	OAI	OUTSIDE AIR INTAKE
EC	ELECTRICAL CONTRACTOR	OD	OUTSIDE DIAMETER
EF	EXHAUST FAN	OP	OVERHEAD POWER LINES
EG	EXHAUST GRILLE	OPNG	OPENING
EJ	EXPANSION JOINT	ORIG	ORIGINAL
EL	ELEVATION	OWJ	OPEN WEB JOIST
ELEC	ELECTRICAL	OZ	OUNCE
ELEV	ELEVATOR		
EDP	EDGE OF PAVEMENT	PC	PLUMBING CONNECTION
EPDM	ETHYLENE PROPYLENE DIENE MONOMER	PCC	PRECAST CONCRETE
EQ	EQUAL	PENT	PENTHOUSE
EQUIP	EQUIPMENT	PERF	PERFORATED
ER	EXHAUST REGISTER	PPN	PIPE FINISHED
EST	ESTIMATE	PB	POLYISOBUTYLENE
EW	ELECTRIC WATER COOLER	PL	PLATE
EW	ELECTRIC WATER HEATER	PLAS	PLASTIC
EXG	EXISTING	PNT	PAINT
EXP JT	EXPANSION JOINT	PP	PITCH POCKET
EXT	EXTERIOR	PPN	PIPE PENETRATION
FAI	FRESH AIR INTAKE	PREFAB	PREFABRICATED
FCO	FLOOR CLEAN OUT	PRV	POWERED ROOF-VENT
FD	FIRE DAMPER	PS	PIPE SEAL
FDN	FOUNDATION		
FE	FINISHED END		

SYMBOLS KEY

EARTHWORK

EARTH UNDISTURBED FILL

EARTH COMPACTED FILL

GRAVEL FILL

SAND

CONCRETE

CONCRETE

MASONRY

CONCRETE MASONRY UNIT

BRICK

WOOD

LUMBER

FINISH WOOD

WOOD BLOCKING

PLYWOOD

GLASS

GLASS

GLASS BLOCK

INSULATION

BATT LOOSE INSULATION

RIGID INSULATION

METALS

STEEL

ALUMINUM

NORTH

NEW ELEVATION POINT

EXISTING ELEVATION POINT

ELEVATION TARGET
EL=100'-0"

COLUMN CENTERLINE

BUILDING SECTION

WALL SECTION

WORK DESCRIPTION NOTE

DEMO WORK DESCRIPTION NOTE

L0001 NON-ASBESTOS BUILDING MATERIAL TEST LOCAT

L0001 ASBESTOS BUILDING MATERIAL TEST LOCAT

ENLARGED PLAN/DETAIL

1
A101
DETAIL
SHEET

1
A101
DETAIL
SHEET

ELEVATIONS

OFFICE 104

ROOM NAME

ROOM NUMBER

DETAIL DESCRIPTION NOTES

WINDOW OR ROOF AREA

AREA MAP

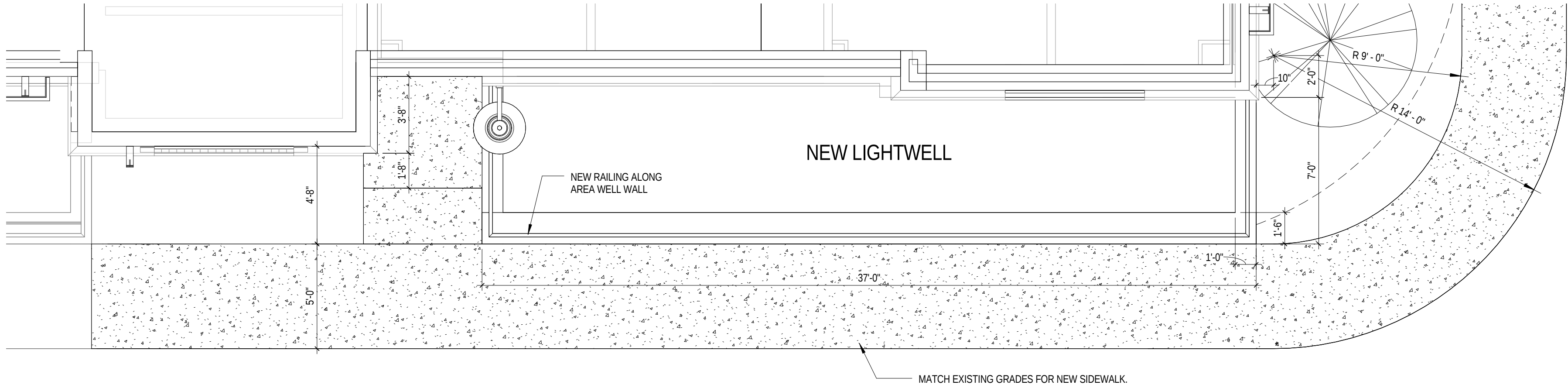


INDEX OF DRAWINGS

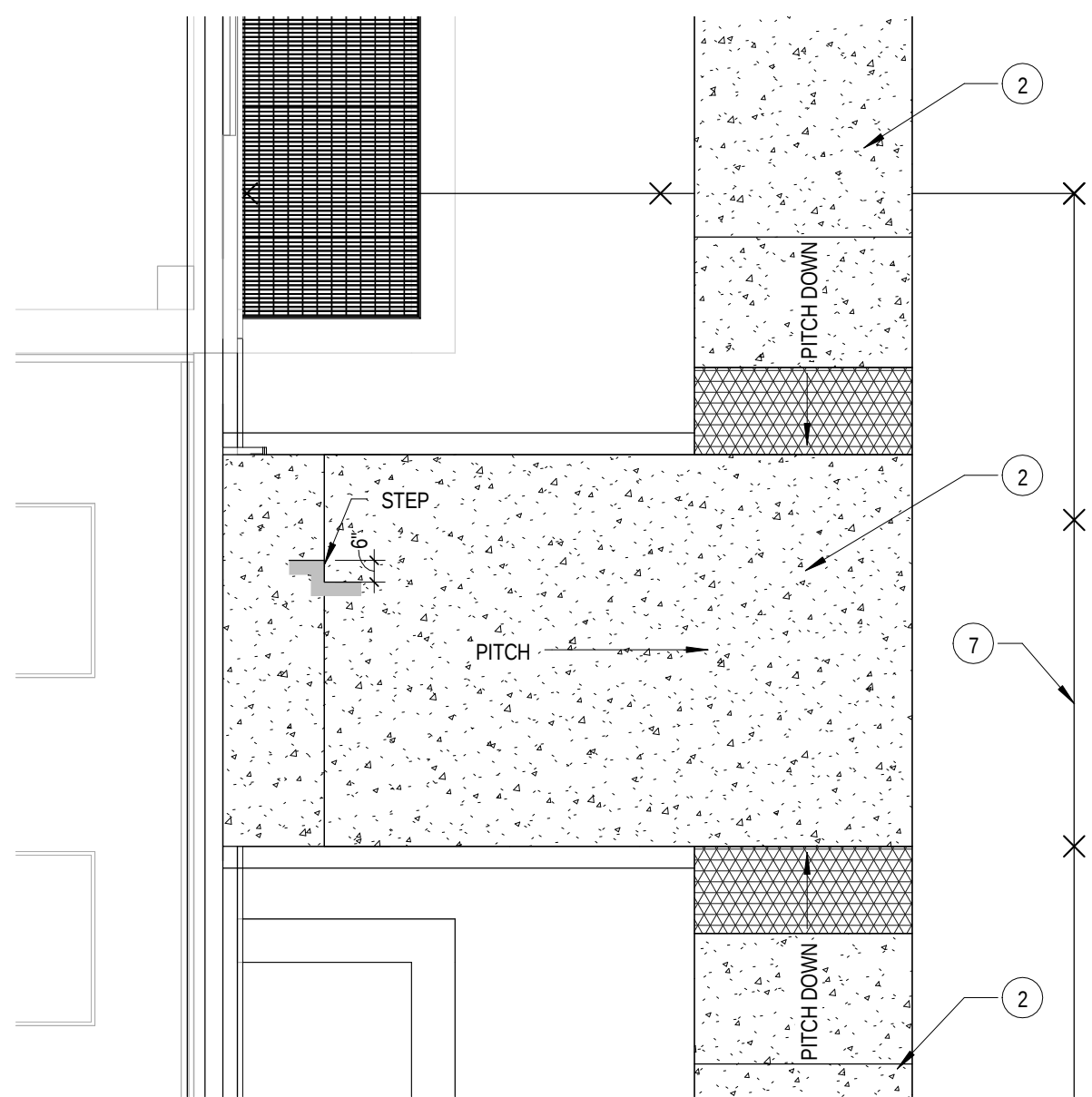
T101	TITLE SHEET	A406	WALL SECTIONS	M404	MECHANICAL DETAILS
C100	SITE DEVELOPMENT PLAN	A407	WALL SECTIONS	M405	MECHANICAL DETAILS
C101	SITE DETAILS	A501	DOOR SCHEDULE AND DETAILS	M406	MECHANICAL DETAILS
C102	LANDSCAPE PLAN	A502	ROOM FINISH SCHEDULE	M407	MECHANICAL DETAILS
		A503	DOOR DETAILS	M408	MECHANICAL DETAILS
		A504	DOOR DETAILS	M409	MECHANICAL NOTES
D101	LOWER LEVEL & FIRST FLOOR DEMOLITION PLANS	A505	WINDOW DETAILS	M501	MECHANICAL SCHEDULES
D102	SECOND FLOOR DEMOLITION PLAN	A510	STAIR #1 PLAN & SECTIONS	M502	MECHANICAL SCHEDULES
D103	ROOF PLAN DEMOLITION	A511	STAIR #3 PLAN & SECTIONS	M503	MECHANICAL SCHEDULES
		A603	ENLARGED CASEWORK PLANS & ELEVATIONS		
		A605	RESTROOM FINISHES		
S100	STRUCTURAL NOTES	R101	ROOF PLAN	P201	LOWER FLOOR PLAN - SANITARY / STORM
S101	FOUNDATION PLAN	R201	ROOF SECTIONS & DETAILS	P202	FIRST FLOOR PLAN - SANITARY / STORM
S201	FIRST FLOOR FRAMING PLAN	R202	ROOF DETAILS	P203	SECOND FLOOR PLAN - SANITARY / STORM
S202	SECOND FLOOR FRAMING PLAN	R205	ROOF DETAILS	P204	THIRD FLOOR PLAN - EXISTING SANITARY / STORM
S203	THIRD FLOOR FRAMING PLAN			P205	THIRD FLOOR PLAN - EXISTING SANITARY / STORM
S204	ROOF FRAMING PLAN	F201	LOWER FLOOR PLAN - FIRE PROTECTION	P206	ROOF PLAN - SANITARY / STORM
A101	LOWER LEVEL FLOOR PLAN	F202	FIRST FLOOR PLAN - FIRE PROTECTION	P301	LOWER FLOOR PLAN - DOMESTIC WASTE
A102	FIRST FLOOR PLAN	F203	SECOND FLOOR PLAN - FIRE PROTECTION	P302	FIRST FLOOR PLAN - DOMESTIC WASTE
A103	SECOND FLOOR PLAN	F204	THIRD FLOOR PLAN - EXISTING FIRE PROTECTION	P303	SECOND FLOOR PLAN - DOMESTIC WASTE
A104	THIRD FLOOR PLAN	F301	THIRD FLOOR PLAN - FIRE PROTECTION	P304	THIRD FLOOR PLAN - DOMESTIC WASTE
A110	ENLARGED RESTROOM PLAN AND ADA ELEVATIONS	F205	THIRD FLOOR PLAN - FIRE PROTECTION	E201	LOWER FLOOR PLAN - LIGHTING
A201	BUILDING ELEVATIONS	F301	FIRE PROTECTION DETAILS	E202	FIRST FLOOR PLAN - LIGHTING
A202	BUILDING ELEVATIONS			E203	SECOND FLOOR PLAN - LIGHTING
A203	BUILDING ELEVATIONS	M201	LOWER FLOOR PLAN - MECH DUCT	E204	THIRD FLOOR PLAN - LIGHTING
A301	LOWER LEVEL & FIRST FLOOR REFLECTED CEILING PLAN	M202	FIRST FLOOR PLAN - MECH DUCT	E301	FIRST FLOOR PLAN - POWER/SYSTEMS
A302	SECOND FLOOR REFLECTED CEILING PLAN	M203	SECOND FLOOR PLAN - MECH DUCT	E302	SECOND FLOOR PLAN - POWER/SYSTEMS
A303	THIRD FLOOR REFLECTED CEILING PLAN	M204	THIRD FLOOR PLAN - MECH DUCT	E303	SECOND FLOOR PLAN - POWER/SYSTEMS
A401	BUILDING CROSS SECTIONS	M301	LOWER FLOOR PLAN - MECH PIPING	E304	THIRD FLOOR PLAN - POWER/SYSTEMS
A402	BUILDING SECTIONS	M302	FIRST FLOOR PLAN - MECH PIPING		
A403	WALL SECTIONS	M303	SECOND FLOOR PLAN - MECH PIPING		
A404	WALL SECTIONS	M304	THIRD FLOOR PLAN - MECH PIPING		
A405	WALL SECTIONS	M401	MECHANICAL DETAILS 3RD FLOOR		
		M402	MECHANICAL NOTES		
		M403	MECHANICAL NOTES		

ENGINEER	ENGINEER	ENGINEER
(NAME)	(NAME)	(NAME)
ARCHITECT	 2169 Carlton Road Oshkosh, Wisconsin 54904 www.martin-riley.com ph 920.267.3600	
ENGINEER	DATE	SET NUMBER
	2017.09.05	
ENGINEER	 DOCUMENT IN PROGRESS NOT FOR CONSTRUCTION	
ENGINEER	(NAME)	

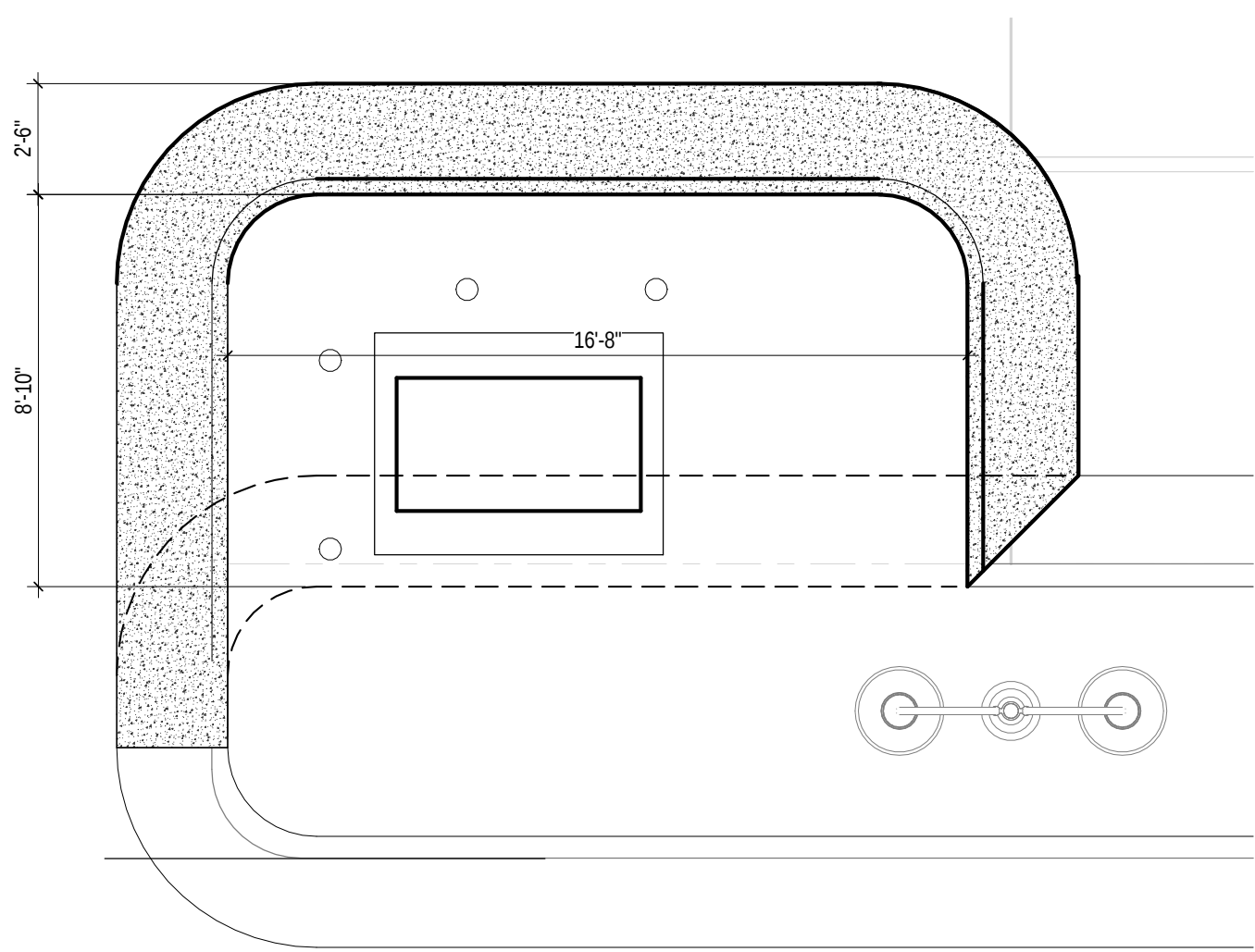
COMMISSION NO
O17034
Addition & Renovations



2 Lightwell Detail
C100
1/4" = 1'-0"



3 Employee Entrance Detail
C100
1/4" = 1'-0"



4 ISLAND LAYOUT
C100
1/4" = 1'-0"

Site Demolition Notes

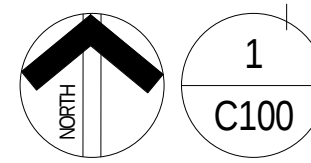
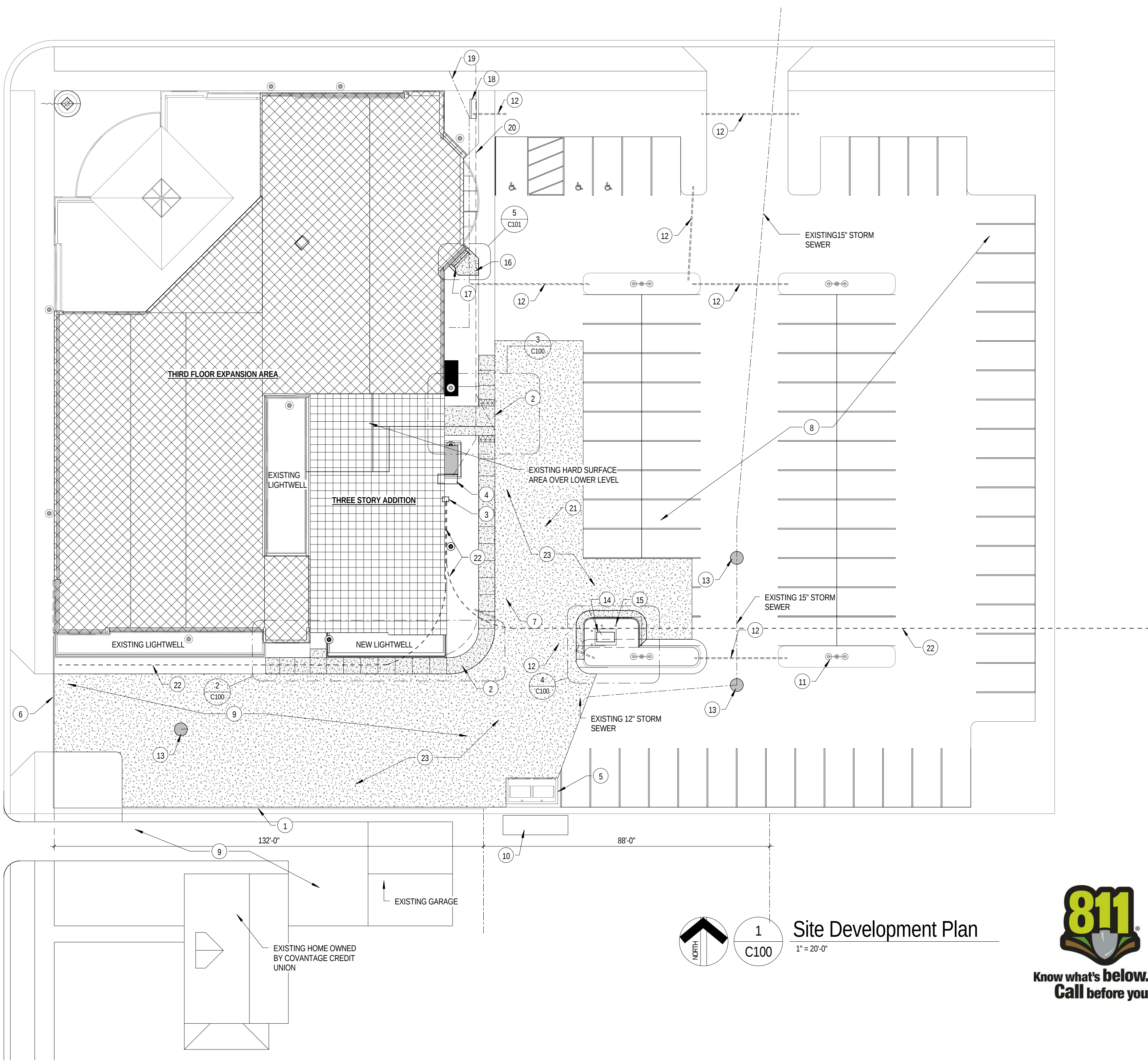
- 1 EXISTING CONCRETE RETAINING WALL TO REMAIN.
- 2 REMOVE EXISTING SIDEWALK AND CURB. REPLACE AFTER BACKFILLING HAS BEEN COMPLETED.
- 3 EXISTING TELEPHONE PEDISTAL BOX TO BE RELOCATED. VERIFY LOCATION WITH UTILITY.
- 4 EXISTING ELECTRICAL TRANSFORMER TO BE RELOCATED. VERIFY LOCATION WITH UTILITY.
- 5 EXISTING DUMPSTER ENCLOSURE TO REMAIN - MAINTAIN ACCESS DURING CONSTRUCTION.
- 6 CONSTRUCTION SITE ACCESS
- 7 CONSTRUCTION SITE FENCING
- 8 EXISTING CUSTOMER PARKING TO REMAIN OPEN DURING CONSTRUCTION ACTIVITIES.
- 9 CONSTRUCTION STAGGING AREA
- 10 FUTURE GENERATOR LOCATION
- 11 EXISTING POLE LIGHT
- 12 EXISTING UNDERGROUND 4" PIPE SLEEVE
- 13 EXISTING CATCH BASIN IN PARKING LOT.
- 14 NEW LOCATION FOR UTILITY TRANSFORMER
- 15 NEW 6" PIPE BOLLARD. SEE DETAIL 4/C101.
- 16 4" CONCRETE SLAB ON GRADE.
- 17 RELOCATED EXISTING BICYCLE RACK TO THIS LOCATION.
- 18 BENCH BY OWNER
- 19 EXISTING GAS LINE
- 20 EXISTING ELECTRICAL LINES
- 21 NEW ELECTRICAL LINES
- 22 EXISTING FIBER OPTIC AND CABLE LINE
- 23 REPLACE ASPHALT PAVING IN THIS AREA

General Demolition Notes

1. THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL OF ALL ITEMS REMOVED FROM THE BUILDING. ITEMS NOT WANTED BY OWNER SHALL BECOME PROPERTY OF CONTRACTOR AND SHALL BE DISPOSED OF LEGALLY OFF SITE.
2. FAILURE OF AFFECTED TRADES TO RECOGNIZE DEMOLITION AS A COMPONENT OF A SYSTEM SHALL NOT BE CAUSE FOR AN EXTRA.
3. CONTRACTOR SHALL REMOVE ALL INCIDENTAL ITEMS SURFACE MOUNTED TO WALLS, INCLUDED BUT NOT LIMITED TO EMERGENCY LIGHTS, SIGNAGE, ELECTRICAL COMPONENTS, ETC.
4. CONTRACTOR SHALL PATCH AND REPAIR ANY WALLS, FLOORS AND CEILINGS AFFECTED BY DEMOLITION.
5. DISCONNECT AND COMPLETELY REMOVE ALL CONDUIT, WIRE BOXES, ETC TO BE RENDERED OBSOLETE BY THIS WORK, UNLESS OTHERWISE NOTED. REMOVE WIRE & CONDUIT BACK TO ITS SOURCE.
6. MAINTAIN CONTINUITY OF EXISTING CIRCUITS AFFECTED BY DEMOLITION WORK. VERIFY THAT EQUIPMENT TO REMAIN IS FUNCTIONAL AFTER DEMOLITION.
7. CONTRACTOR SHALL DESIGN AND PROVIDE ALL TEMPORARY SHORING NECESSARY TO COMPLETE THE WORK.
8. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND REWORK TO ACCOMPLISH THIS PROJECT AS SET FORTH IN THESE DOCUMENTS. THE CONTRACTOR SHALL TAKE INTO CONSIDERATION ALL SHEETS TO DETERMINE THE FULL SCOPE OF DEMOLITION AND REWORK REQUIRED.
9. THE GENERAL CONTRACTOR SHALL PROTECT ALL ADJACENT BUILDING MATERIALS FROM DAMAGE AND SHALL MAINTAIN BUILDING SECURITY DURING THE DURATION OF THE PROJECT.

6TH AVENUE

CLERMONT STREET



1 Site Development Plan
C100
1" = 20'-0"



C100

SITE DEVELOPMENT PLAN

An Addition & Renovation Project for :
CoVantage Credit Union
Addition & Renovations

723 Sixth Avenue
Antigo, WI 54409



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architects • engineers

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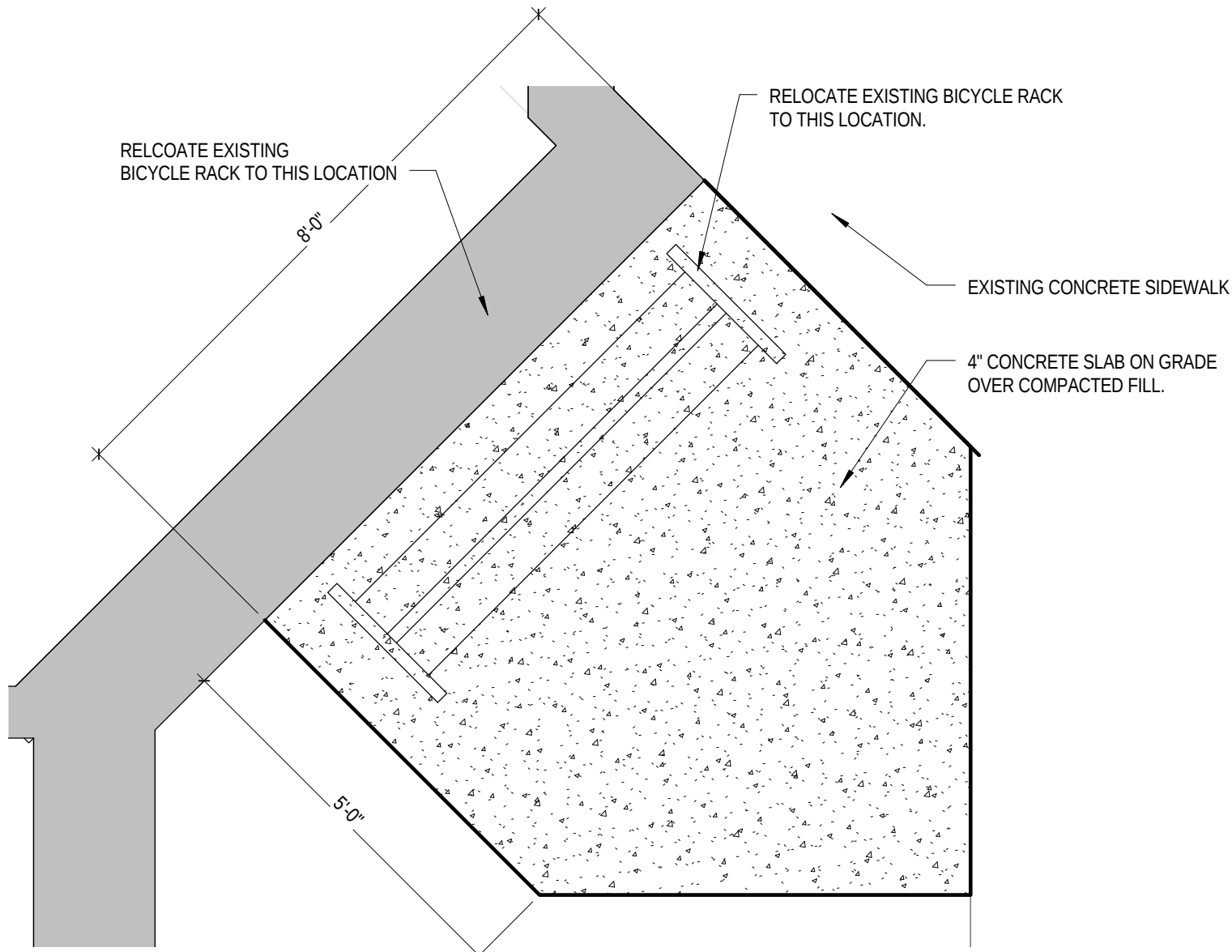
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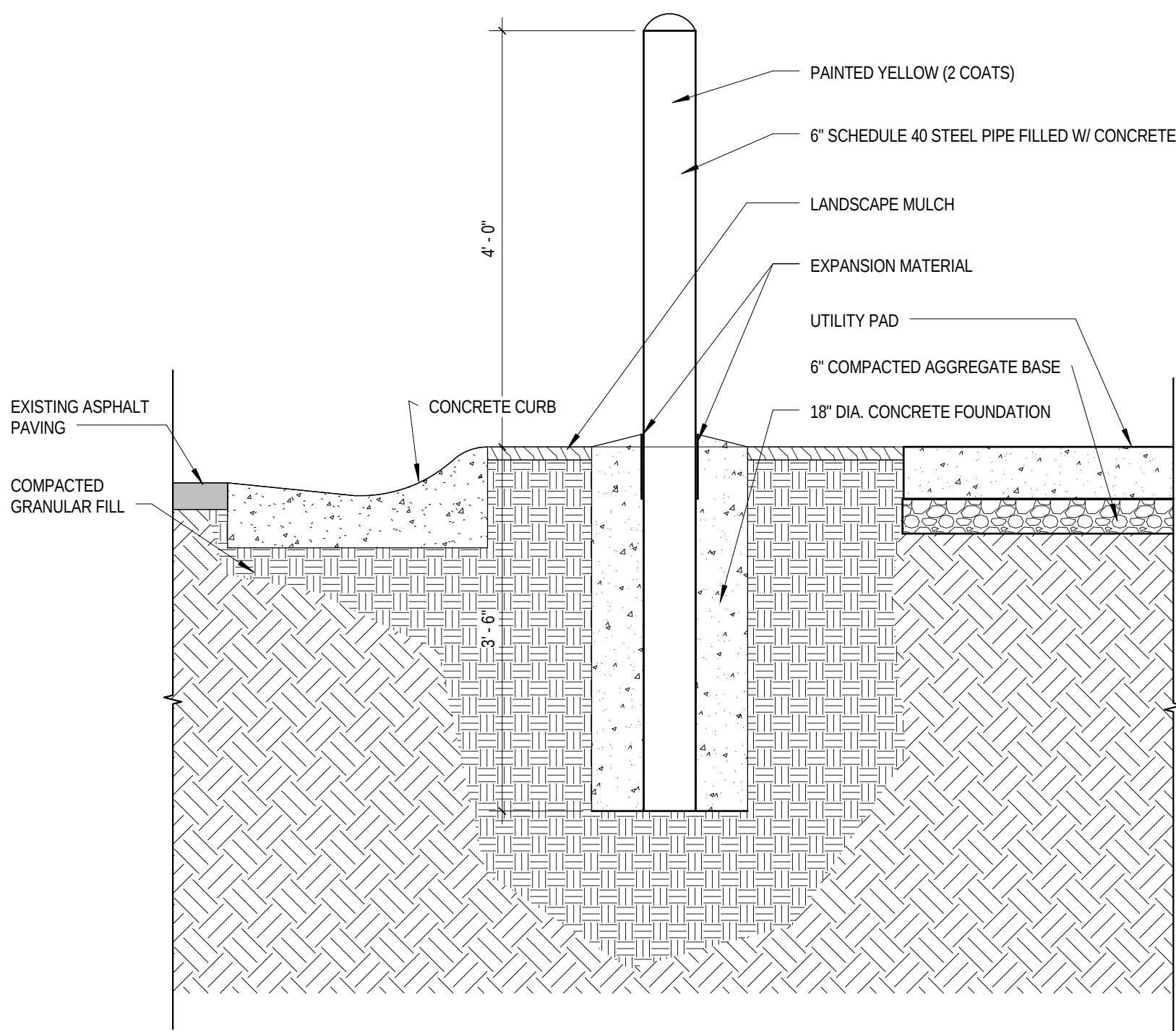
REVISION DATE

DRAWN BY: LC
COMMISSION NUMBER: 017034
REVIEWED BY: RHG
DATE: 2017.09.05

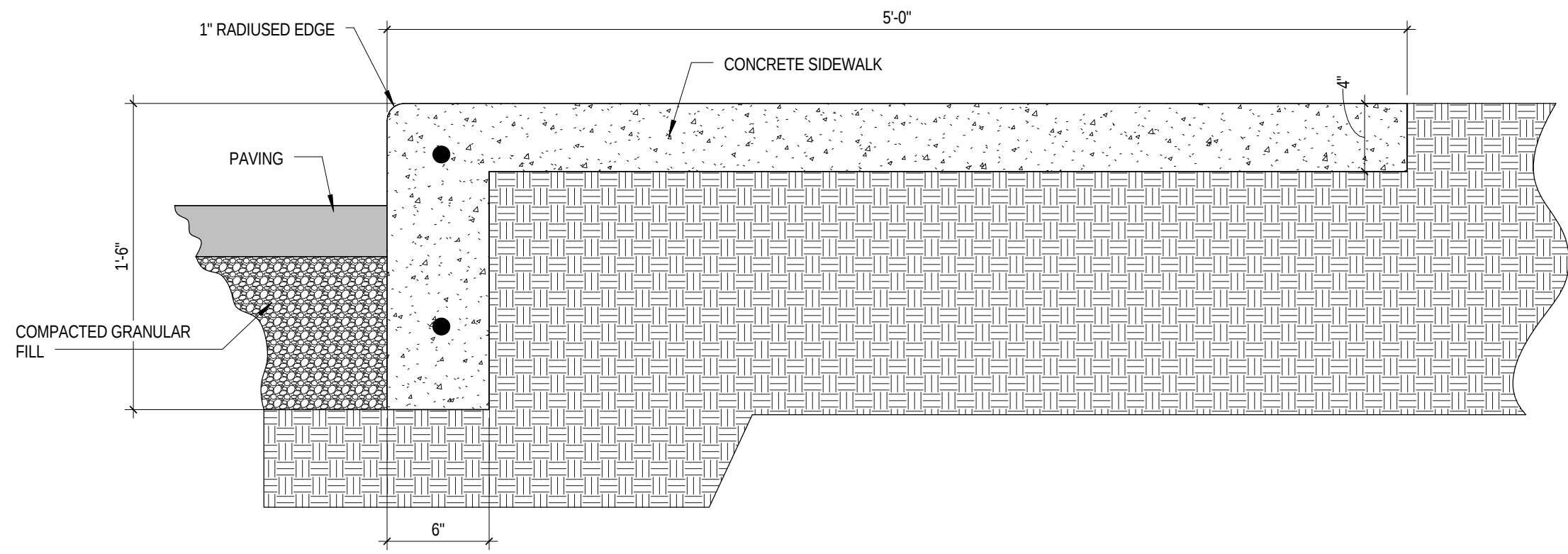
017034 - Addition & Renovations
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SODDDCD



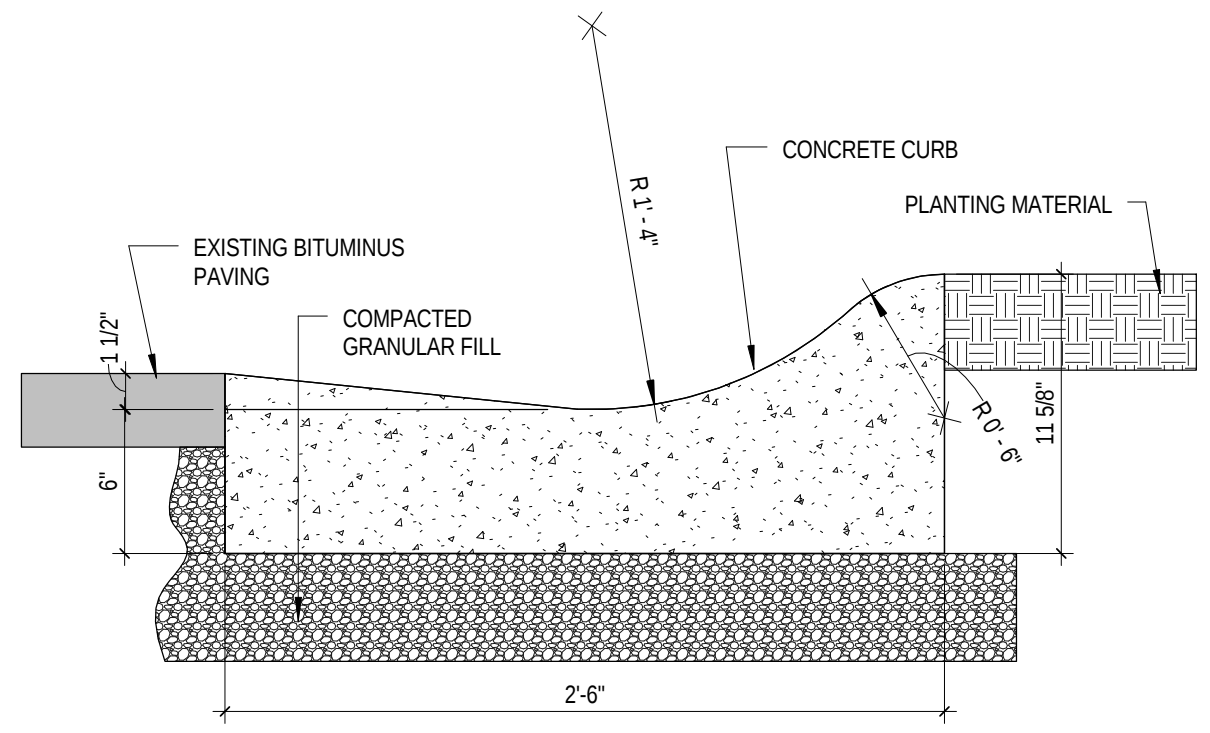
5 BICYCLE PAD DETAIL
1/2" = 1'-0"



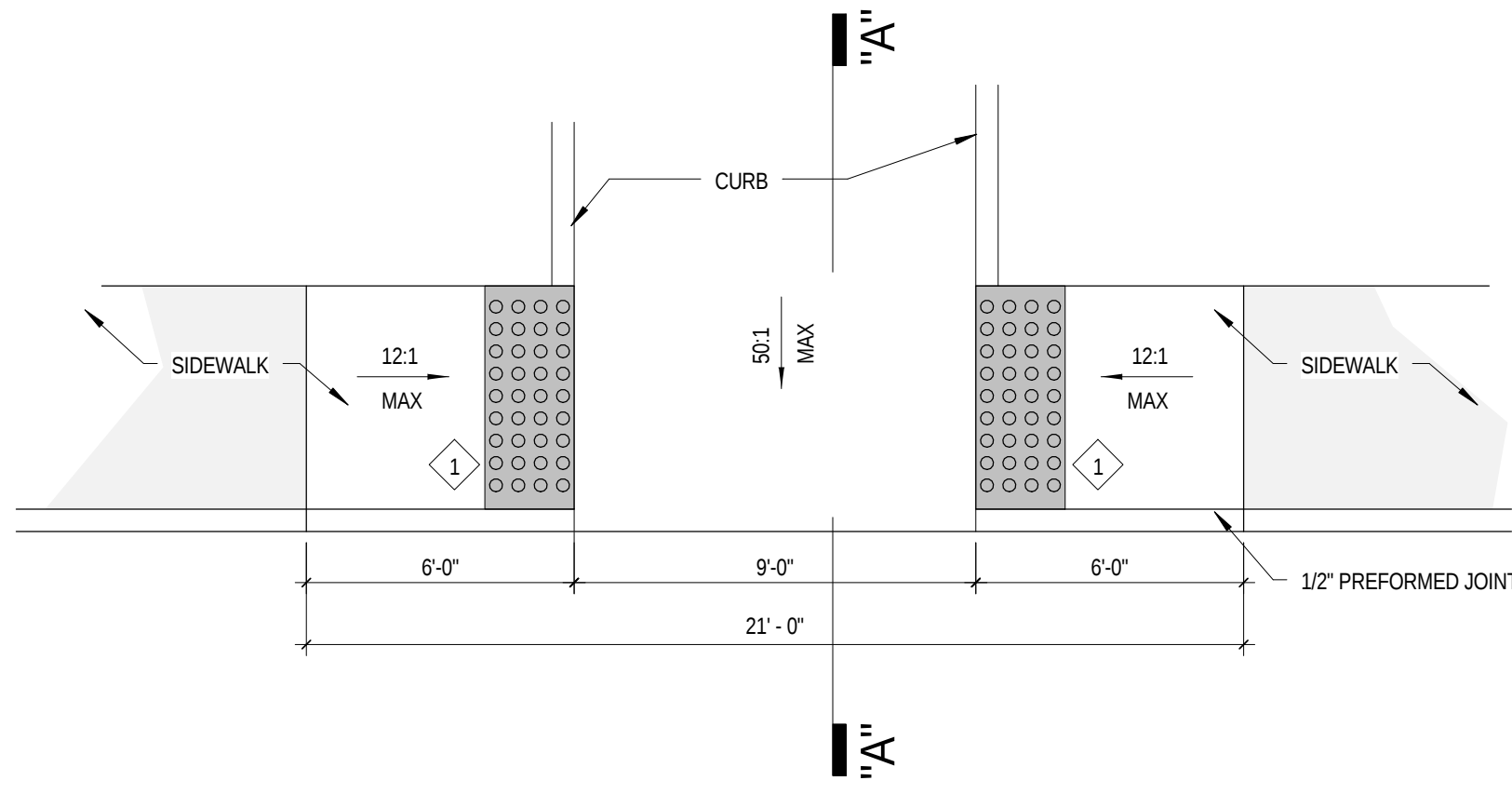
4 6" Pipe Bollard
3/4" = 1'-0"



3 THICKENED EDGE WALK
1 1/2" = 1'-0"



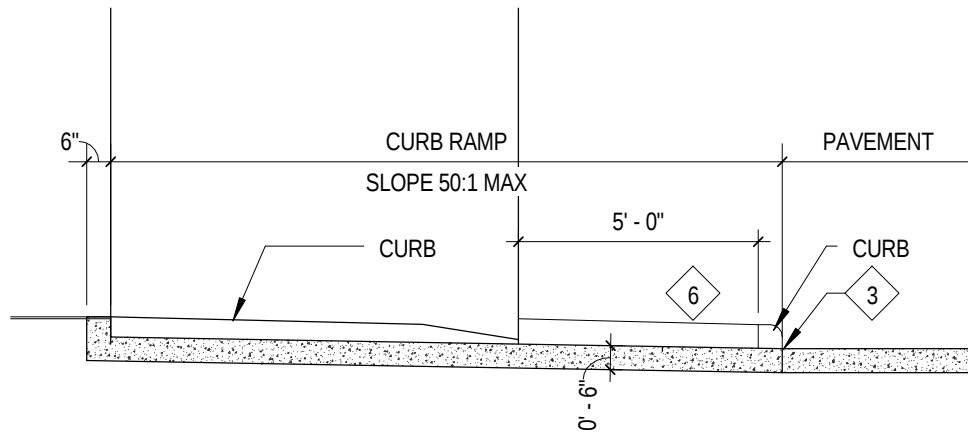
2 30" ROLLING CURBING
1 1/2" = 1'-0"



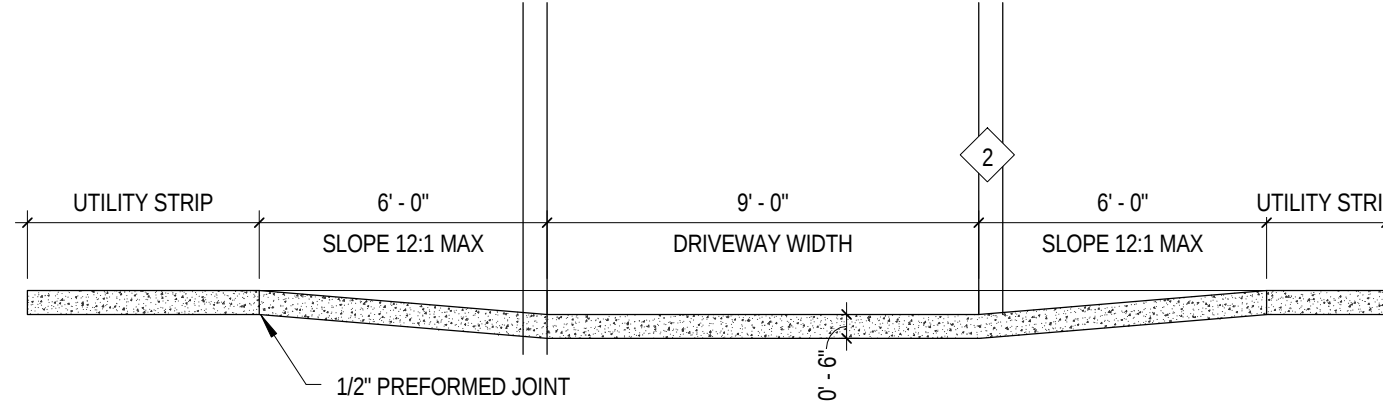
PLAN

DETAIL NOTES

- 1 THESE DIMENSIONS ARE BASED ON A 6" CURB HEIGHT AND SHALL BE PROPORTIONALLY ADJUSTED FOR OTHER CURB HEIGHTS.
- 2 A 4'-0" MINIMUM WIDTH RAMP MAY BE USED WHEN EXISTING SPACE PROHIBITS THE CONSTRUCTION OF THE 6'-0" WIDE RAMP.
- 3 THE BOTTOM EDGE OF THE CURB RAMP SHALL BE FLUSH WITH THE EDGE OF THE ADJACENT PAVEMENT AND GUTTER LINE.
- 6 DETECTABLE WARNING SURFACE.



SECTION "A"



CURB ELEVATION

1 Curb Ramps
N.T.S.

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REVISION DATE

DRAWN BY: Author
COMMISSION NUMBER: 017034
REVIEWED BY: Checker
DATE: 2017.09.05



Know what's below.
Call before you dig.

C101

SITE DETAILS

SHRUB

N.T.S.

**** ALL FUTURE DEVELOPMENT WILL REQUIRE ADDITIONAL
LANDSCAPING PLANS TO BE SUBMITTED FOR REVIEW.

ALL APPROVED LANDSCAPING IS TO BE INSTALLED WITHIN ONE PLANTING SEASON OF THE LANDSCAPE/SITE DEVELOPMENT PLAN APPROVAL. ALL LANDSCAPING SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, NEAT AND ORDERLY APPEARANCE, AND FREE OF REFUSE AND DEBRIS. ALL PLANTINGS SHALL BE ARRANGED AND MAINTAINED SO AS NOT TO OBSCURE THE VISION OF TRAFFIC. ANY VEGETATION WHICH IS SHOWN ON THE APPROVED LANDSCAPE/SITE PLAN THAT DIES MUST BE REPLACED WITHIN ONE PLANTING SEASON PER APPROVED LANDSCAPE/SITE PLAN.

IT SHALL BE THE RESPONSIBILITY OF THE PRINCIPAL USE, OR USES TO PERFORM THE NECESSARY MAINTENANCE OF ALL LANDSCAPING, INCLUDING MOWING, TRIMMING, WATERING, AND FERTILIZATION OF ALL GRASS, GROUND COVER, SHRUBS OR TREES, AND REMOVAL OF DEAD OR WASTE MATERIAL.

PLANTING SCHEDULE				
ID	Name	Botanical Name	Size	Notes
SR		SYRINGA RETICULATA	1 1/2'-2" CAL.	

- 1 REMOVE EXISTING EDGING BACK TO EDGE OF NEW CONCRETE SLAB, REPAIR AND ADD MULCH AROUND CONCRETE SLAB.
- 2 NEW CONCRETE SIDEWALK AND DRIVE.
- 3 NEW PLANTINGS WITH EDGING TO MATCH EXISTING AND MULCH. SEE PLANTING SCHEDULE FOR PLANTINGS AND QUANTITIES.
- 4 EXTING PLANTING AREA AROUND TRANSFORMER. SEE PLANTING SCHEDULE FOR PLANTINGS AND QUANTITIES.
- 5 RELOCATED EXISTING BICYCLE RACK TO THIS LOCATION.
- 6 CONCRETE SLAB ON GRADE.
- 7 CONSTRUCTION SITE FENCING
- 8 EXISTING CUSTOMER PARKING TO REMAIN OPEN DURING CONSTRUCTION ACTIVITIES.
- 9 SEED AREA ALONG SIDEWALK.
- 10 FUTURE GENERATOR LOCATION
- 11 EXISTING POLE LIGHT
- 12 EXISTING UNDERGROUND 4" PIPE SLEEVE
- 13 EXISTING CATCH BASIN IN PARKING LOT.
- 14 NEW LOCATION FOR UTILITY TRANSFORMER
- 15 NEW 6" PIPE BOLLARD. SEE DETAIL 4/C101.

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2169 Carlton Road
Oshkosh, Wisconsin 54904

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C102

LANDSCAPE PLAN

$$3/32'' = 1'-0''$$