



CITY OF ANTIGO

CITY PLAN COMMISSION MEETING

COUNCIL CHAMBERS

Tuesday, August 04, 2020

CITY HALL, 700 EDISON STREET

6:00 PM

Call to Order

Discussion and Action May Occur on Any of the Following Agenda Items:

1. Approval of the Minutes from the August 6, 2019 Meeting
2. Proposed North Elementary School Parking Lot Expansion
3. Approval of Certified Survey Map at Corner of Century Avenue and Clermont Street for Wes Tradewell
4. Site Plan Review for Multi-Story School Building Addition at Peace Lutheran

Any Other Matters Authorized by Law to be Considered

Adjournment

Upon reasonable notice, efforts will be made to accommodate disabled individuals through appropriate aids and services. For additional information, contact Jaime Horswill, 700 Edison Street, Antigo, Wisconsin 54409. (715) 623-3633 extension 100. Members of and possibly a quorum of members of other governmental bodies may be in attendance to gather information. Any governmental body other than that specifically referred to above will take no action.

DATE MAILED: July 30,2020

BILL BRANDT



To: Mayor and City Council
From: Charley Brinkmeier, Land Surveyor/Project Manager
Date: August 04, 2020
Re: Proposed North Elementary School Parking Lot Expansion

The Unified School District of Antigo has requested expansion of the parking lot on the City's water plant site to help with teacher parking issues. This would be in an area that is currently grass and is not utilized by the water plant. Please see the attached memo and map.



Unified School District of Antigo Central Office

120 S. Dorr Street
Antigo, WI 54409

To: Public Works Committee
From: Jake Leiterman, Supervisor of Buildings & Grounds *JK*
Date: July 14, 2020
Re: July 22, 2020 Public Works Committee Agenda

The Unified School District of Antigo is requesting to be added to the Public Works Committee meeting agenda for Wednesday, July 22, 2020.

The District would like to request permission to pave a portion of the city owned property near North Elementary School, located at Water Tower Park on Graham Avenue. Please see the enclosed map of the area of interest.

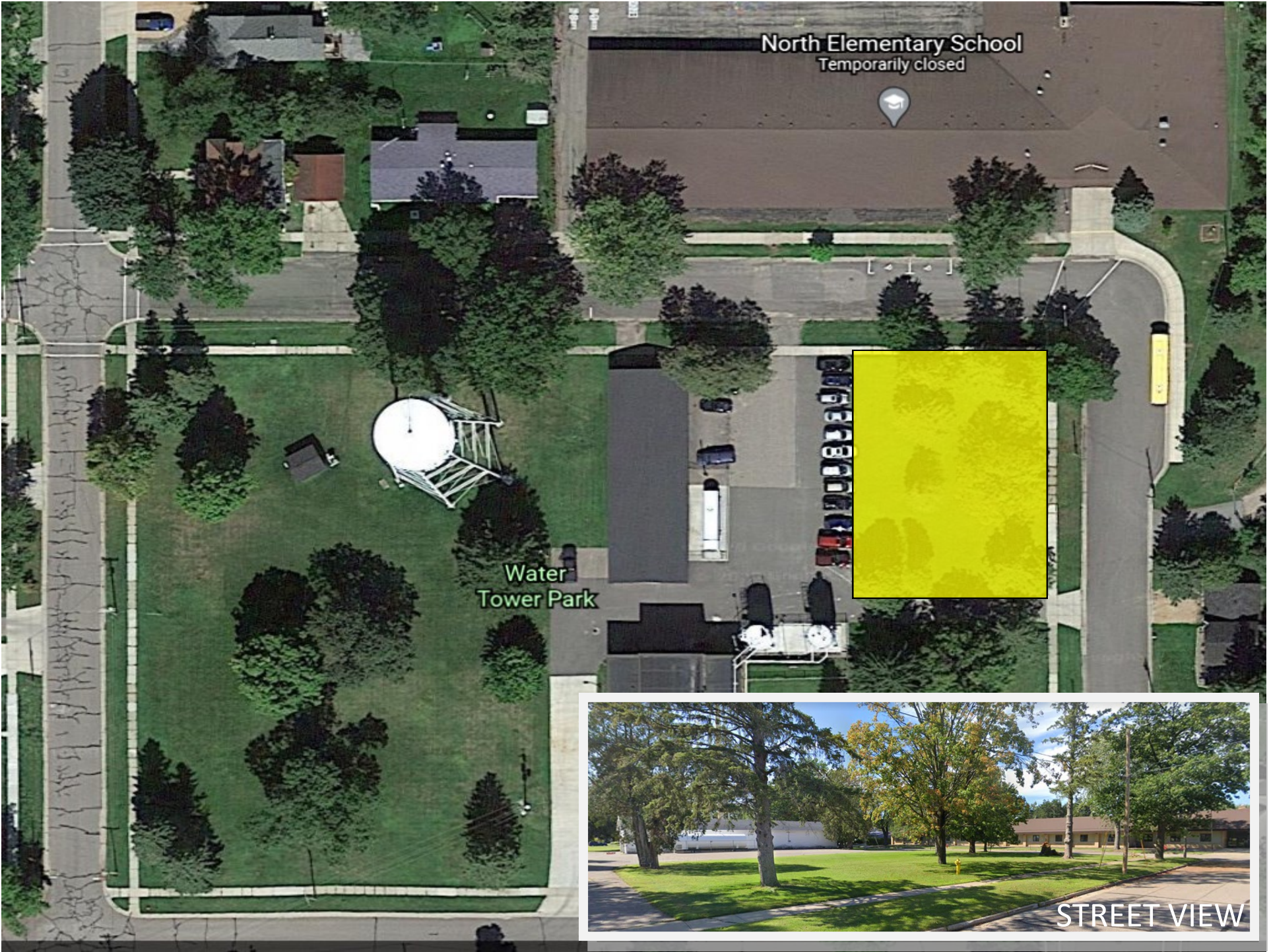
The purpose of this request is to provide a parking area for District parents, visitors and staff. Currently a number of our staff and all of our visitors have no other option than to park on the street. This would assist in removing traffic congestion on Graham Avenue during the school year, as well as help to remove safety hazards for all operations including student drop off/pick up, staff and visitors accessing North Elementary, everyday vehicle traffic and routine City maintenance such as snow removal and street sweeping.

If granted permission, all costs and maintenance involved would be the responsibility of the Unified School District of Antigo. The property would remain in ownership of the City of Antigo. The District would have permission to use the parking lot while ensuring the City has adequate access to the water treatment facility.

We appreciate your consideration and look forward to discussing this request with you.

Thank you.

Attachment: School Paving Request Memo (3512 : North Elem Parking Lot Request)



Attachment: School Paving Request Map (3512 : North Elem Parking Lot Request)

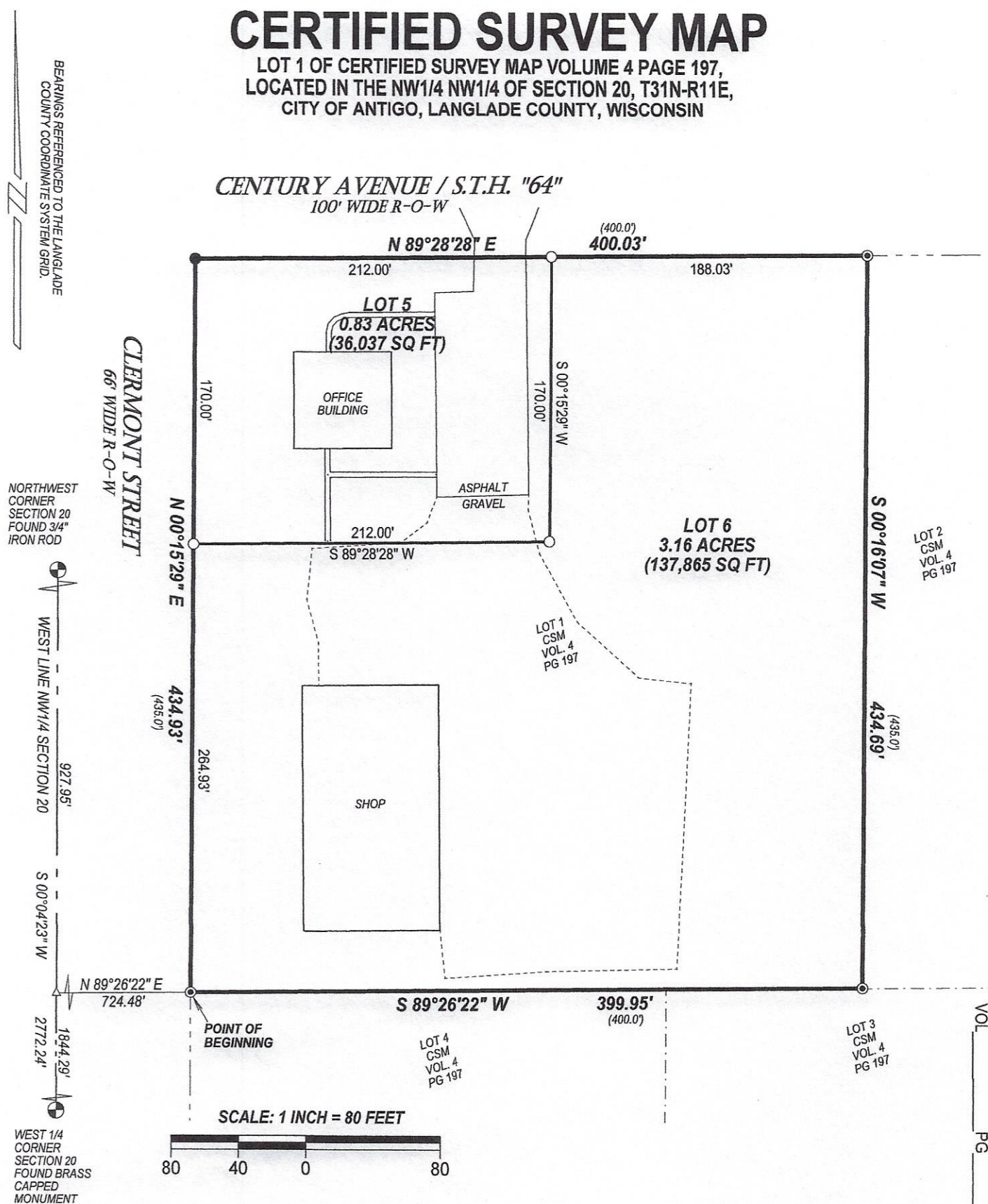


To: Mayor and City Council
From: Charley Brinkmeier, Land Surveyor/Project Manager
Date: August 04, 2020
Re: Approval of Certified Survey Map at Corner of Century Avenue and Clermont Street
for Wes Tradewell

Wes Tradewell is dividing and selling part of his office on Century Ave. The lot sizes are in compliance with the current B3 zoning. We would recommend approval of this Certified Survey Map.

CERTIFIED SURVEY MAP

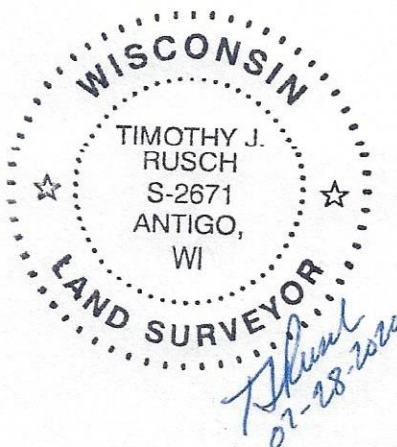
LOT 1 OF CERTIFIED SURVEY MAP VOLUME 4 PAGE 197,
LOCATED IN THE NW1/4 NW1/4 OF SECTION 20, T31N-R11E,
CITY OF ANTIGO, LANGLADE COUNTY, WISCONSIN



LEGEND

- () RECORD DISTANCE
△ COMPUTED POINT
◎ FOUND 1.3" IRON PIPE
● FOUND 3" IRON PIPE
○ SET 1.05" O.D. X 18" LONG IRON PIPE
WEIGHING 1.13 LBS/LF

SURVEYED BY:
RUSCH ENGINEERING & SURVEYING LLC
400 RUSCH ROAD
ANTIGO, WI 54409
(715)623-5044
PROJECT #20-6202
FIELDWORK COMPLETED: 07/27/2020



SHEET 1 OF 2

CERTIFIED SURVEY MAP

LOT 1 OF CERTIFIED SURVEY MAP VOLUME 4 PAGE 197,
LOCATED IN THE NW1/4 NW1/4 OF SECTION 20, T31N-R11E,
CITY OF ANTIGO, LANGLADE COUNTY, WISCONSIN

Surveyor's Certificate

I, Timothy J. Rusch, Professional Land Surveyor, hereby certify:

That I have surveyed and mapped by the order of Wesley J. Tradewell, owner, Lot 1 of Certified Survey Map Volume 4 Page 197, located in the NW1/4 NW1/4 of Section 20, T31N-R11E, City of Antigo, Langlade County, Wisconsin. Said parcel is more particularly described as follows:

Commencing at the Northwest Corner of Section 20; Thence S00°04'23"W, along the West line of the NW1/4 of said Section, 927.95 feet; Thence N89°26'22"E, 724.48 feet to the Point of Beginning; Thence N00°15'29"E, along the East right-of-way of Clermont Street, 434.93 feet; Thence N89°28'28"E, along the North right-of-way of Century Avenue / S.T.H. "64", 400.03 feet; Thence S00°16'07"W, along the East line of Lot 1 of Certified Survey Map Volume 4 Page 197, 434.69 feet; Thence S89°26'22"W, along the South line of said Lot, 399.95 feet to the Point of Beginning. Said parcel contains 3.99 acres.

That said parcel is subject to any right-of-way, easement, reservation or restriction in use or of record.

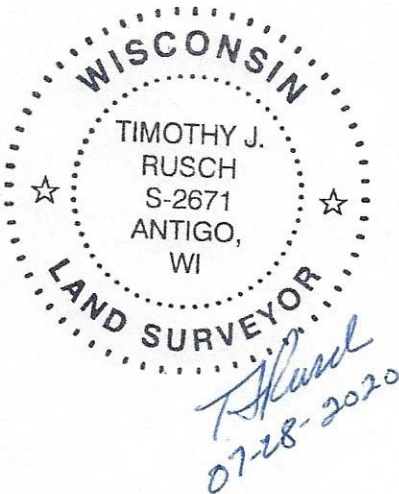
That this map is a true and correct representation of all boundaries of the land surveyed, to the best of my knowledge and belief, and that I have complied with the provisions of Wisconsin Statute 236.34 and Land Division Ordinances of City of Antigo in surveying and mapping same.

Dated this 28th day of July, 2020



Timothy J Rusch
Professional Land Surveyor S-2671

Rusch Engineering & Surveying LLC
400 Rusch Road
Antigo, WI 54409
(715)623-5044
Project #20-6202



Owner:
Wesley J. Tradewell
PO Box 42
Antigo, WI 54409

Antigo City Plan Commission Approval

This Certified Survey Map located in the NW1/4 NW1/4 Section 20, T31N-R11E, City of Antigo, being Lot 1 of Certified Survey Map Volume 4 Page 197, presented by Wesley J. Tradewell, is hereby approved by the City Plan Commission.

Approved: _____ Mayor

I hereby certify that the foregoing approval is in accordance with the action taken by the City Plan Commission of the City of Antigo.

Signed: _____ City Clerk

VOL _____ PG _____

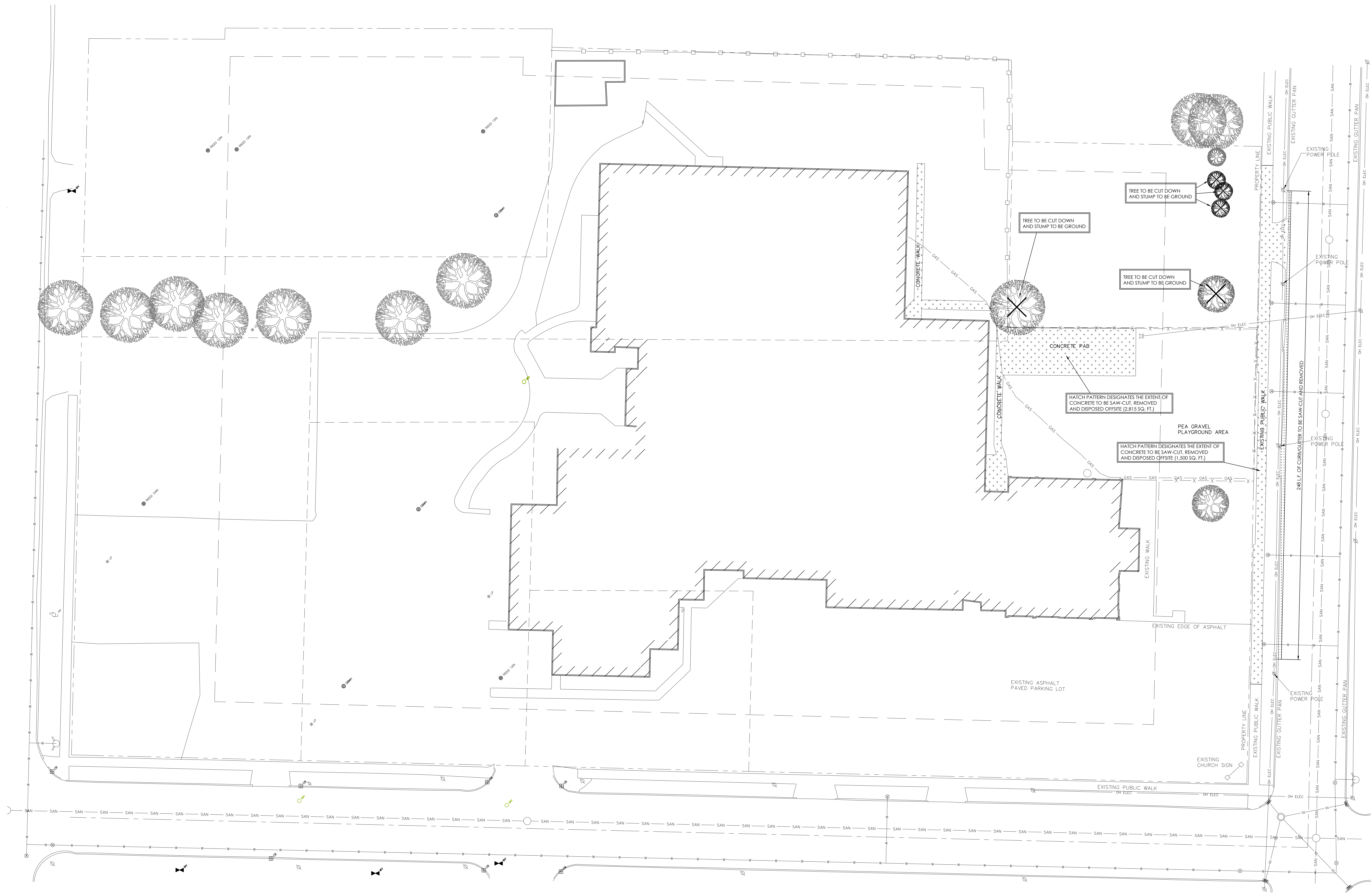
Attachment: Tradewell CSM 20-6202 (3513 : Tradewell Land Division CSM)



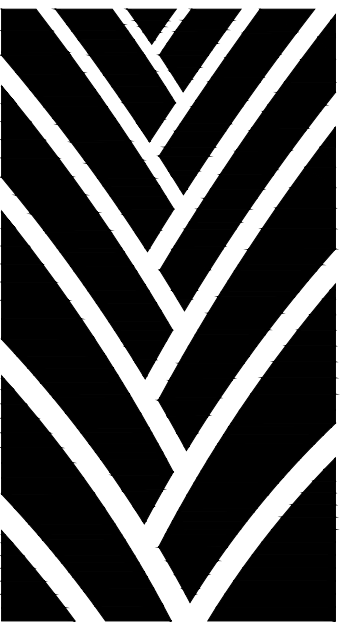
To: Mayor and City Council
From: Mark Desotell, Director of Administrative Services
Date: August 04, 2020
Re: Site Plan Review for Multi-Story School Building Addition at Peace Lutheran

Representatives from either Peace Lutheran and/or their design team will be available by phone or in person to discuss the overall project scope. Additional information may be available for you during the City Plan meeting.

Please feel free to contact Charley or Roger with any questions as I will be on vacation starting the week of July 27th and will be returning on the following Monday.

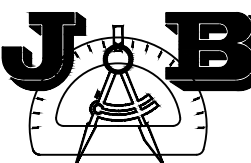


OVERALL SITE DEMOLITION PLAN
SCALE: 1" = 20'



**GROTH
DESIGN
GROUP**

N58 W6181 COLUMBIA RD.
P.O. BOX 332
CEDARBURG, WISCONSIN 53012
PH. (262) 377-8001
FX. (262) 377-8003



J&B
SITE DESIGN AND ENGINEERING, LLC
1129 KENTUCKY AVENUE
SHEBOYGAN, WISCONSIN 53081
(920) 207-8977 cell
(920) 453-0181 office

PROJECT

**PEACE LUTHERAN
MINISTRIES
ADDITION AND
RENOVATION**

**300 LINCOLN STREET
ANTIGO, WI 54409**

ISSUE

NO. REV. DATE DESCRIPTION

**PROGRESS
DOCUMENTS**

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PROJECT INFO

Date:

07.24.2020

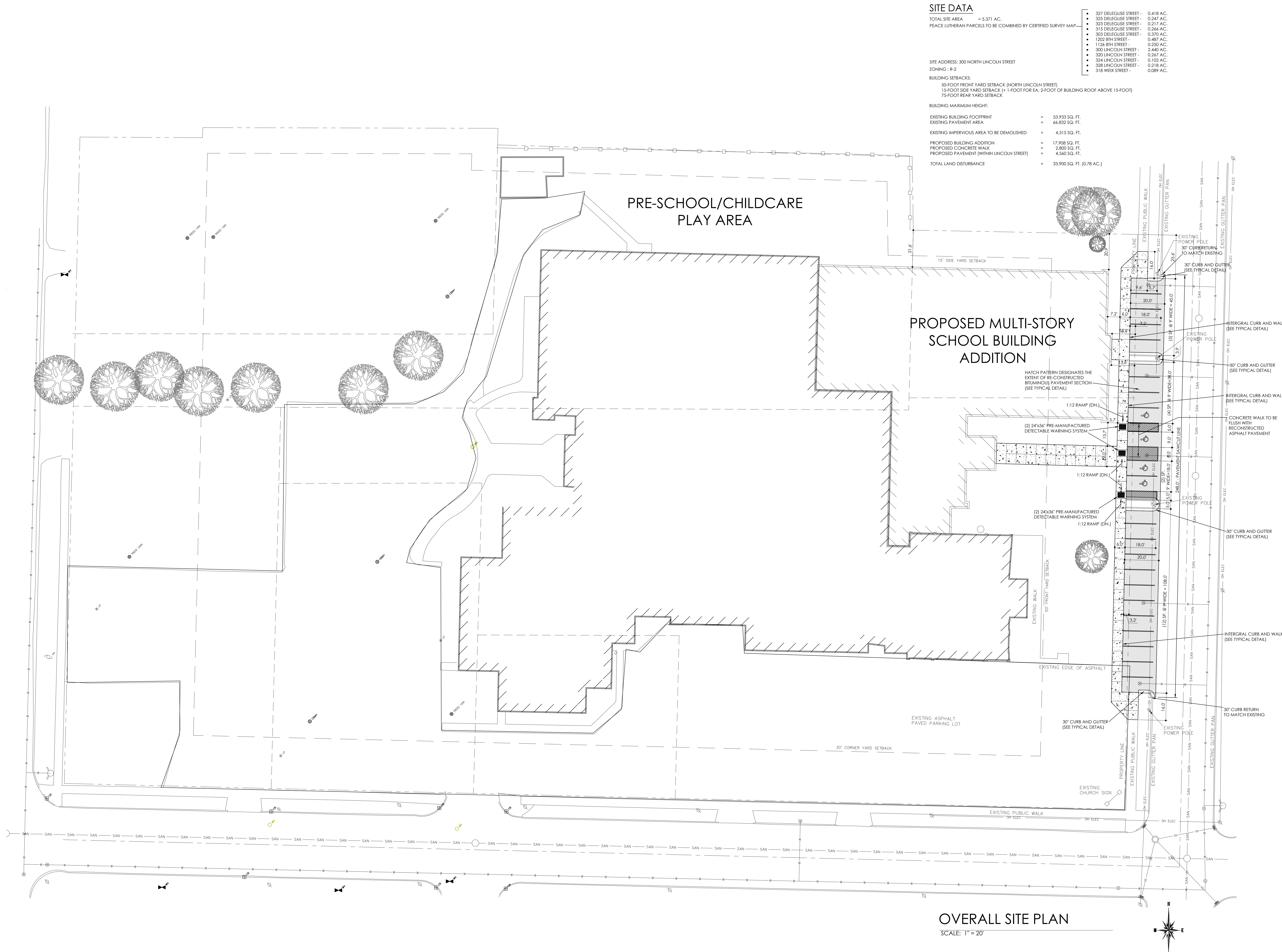
Project No.:

18.157.02

SHEET TITLE

SITE DEMOLITION PLAN

C 101



SITE DATA

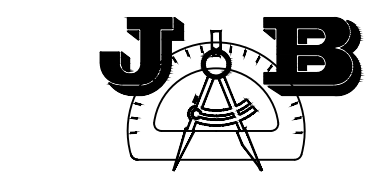
TOTAL SITE AREA	= 5.371 AC.
PEACE LUTHERAN PARCELS TO BE COMBINED BY CERTIFIED SURVEY MAP	
SITE ADDRESS: 300 NORTH LINCOLN STREET	
ZONING : R-2	
BUILDING SETBACKS:	
50-FOOT FRONT YARD SETBACK (NORTH LINCOLN STREET)	
15-FOOT SIDE YARD SETBACK (+ 1-FOOT FOR EA. 2-FOOT OF BUILDING ROOF ABOVE 15-FOOT)	
75-FOOT REAR YARD SETBACK	
BUILDING MAXIMUM HEIGHT:	
EXISTING BUILDING FOOTPRINT	= 53,933 SQ. FT.
EXISTING PAVEMENT AREA	= 66,832 SQ. FT.
EXISTING IMPERVIOUS AREA TO BE DEMOLISHED	= 4,315 SQ. FT.
PROPOSED BUILDING ADDITION	= 17,908 SQ. FT.
PROPOSED CONCRETE WALK	= 2,800 SQ. FT.
PROPOSED PAVEMENT (WITHIN LINCOLN STREET)	= 4,560 SQ. FT.
TOTAL LAND DISTURBANCE	= 33,900 SQ. FT. (0.78 AC.)

- 327 DELEGISE STREET - 0.418 AC.
- 325 DELEGISE STREET - 0.247 AC.
- 323 DELEGISE STREET - 0.217 AC.
- 315 DELEGISE STREET - 0.266 AC.
- 303 DELEGISE STREET - 0.370 AC.
- 1202 8TH STREET - 0.487 AC.
- 1126 8TH STREET - 0.250 AC.
- 300 LINCOLN STREET - 2.440 AC.
- 320 LINCOLN STREET - 0.267 AC.
- 324 LINCOLN STREET - 0.102 AC.
- 328 LINCOLN STREET - 0.218 AC.
- 318 WEIX STREET - 0.089 AC.



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PROJECT INFO

Date: 07/24/2020
Project No. 18.157.02

SHEET TITLE

SITE PLAN

C 102

- FLOOR PLAN GENERAL NOTES:
- A. SEE WALL SCHEDULE FOR WALL ASSEMBLY INFORMATION. NOTE: SEE SECTIONS AND ELEVATIONS FOR CHANGES IN MATERIALS/WALL TYPES/ACCENT-ELEMENTS THAT MAY NOT BE INDICATED AT PLAN CUT.
 - B. SEE 14 / A002 FOR TYPICAL DIMENSIONS OF DOOR OPENING FROM ADJACENT WALL.
 - C. PROVIDE BLOCKING AT ALL MILLWORK AND WALL HUNG ELEMENTS IN WALLS. CONTRACTOR TO COORDINATE W/ OWNER REPRESENTATIVE FOR FINAL LOCATIONS OF OWNER-FURNISHED EQUIPMENT. SEE DETAIL 16 / A002. ALL WOOD BLOCKING TO BE FIRE-RETARDANT TREATED WOOD IN BUILDINGS OF NONCOMBUSTIBLE CONSTRUCTION (IBC TYPE I & II) AND IN RATED WALLS IN BUILDINGS OF COMBUSTIBLE CONSTRUCTION (IBC TYPE III, IV, & V).
 - D. PROVIDE CORNER GUARDS AS SHOWN GRAPHICALLY. SEE FINISH PLAN FOR COLORS & TYPES. ALL OUTSIDE CORNERS NOT SHOWN RECEIVING CORNER GUARDS ARE TO BE VERIFIED WITH ARCHITECT DURING BIDDING.
 - E. ALL INTERIOR PLAN DIMENSIONS ARE TO FACE OF INTERIOR FINISH OF WALL, U.N.O. ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FINISHED FACE TO EXTERIOR FINISHED FACE, U.N.O.
 - F. ALL VERTICAL DIMENSIONS TO BE ABOVE FINISH FLOOR (A.F.F.) U.N.O.
 - G. ALL DOORS USED IN CONJUNCTION WITH EXITS SHALL BE ARRANGED TO READILY OPEN WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE FROM THE SIDE OF EGRESS.
 - H. A THERMAL BREAK IN THE CONCRETE FLOOR SLAB IS REQUIRED AT ALL EXTERIOR DOOR LOCATIONS. SEE DOOR DETAILS FOR MORE INFORMATION.
 - I. ALL PARTITION PENETRATIONS SHALL BE FIELD VERIFIED, BRACED, AND SEALED TO MEET REQUIRED RATINGS. UTILIZE UL-APPROVED METHODS.
 - J. PROVIDE PROPER PREPARATION TO ALL SURFACES TO RECEIVE NEW FINISHES.
 - K. ALL ROOMS TO RECEIVE ROOM AND NUMBER SIGNAGE ADJACENT TO DOOR. COORDINATE BLOCKING REQUIREMENTS WITH SIGN VENDOR.
 - L. WHERE FLOOR DRAINS ARE REQUIRED (SEE PLUMBING) PITCH CONCRETE SLAB TO DRAINS 1/8" PER FOOT, TYP, UNLESS NOTED OTHERWISE.
 - M. ALL GYPSUM BOARD INTERIOR SURFACES TO RECEIVE A LEVEL 4 FINISH AND PRIME COAT FOR FUTURE PAINTING APPLICATION.
 - N. ALL PARTITIONS TO BE TYPE P1 AND EXTEND TO THE UNDERSIDE OF FLOOR/ROOF DECK UNLESS NOTED OTHERWISE.



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FLOOR PLAN - SYMBOL KEY

- EXISTING WALL TO REMAIN
- REMOVED WALL
- NEW WALL
- WALL TYPE TAG. SEE WALL TYPES SHEET FOR ADDITIONAL INFORMATION
- DOOR TAG
- MILLWORK. SEE INTERIOR ELEVATIONS AND DETAILS
- FE-# FIRE EXTINGUISHERS
 - FE-1 - RECESSED CABINET
 - FE-2 - SEMI-RECESSED CABINET
 - FE-3 - SURFACE MOUNTED CABINET
 - FE-4 - SURFACE MOUNTED EXTINGUISHER ONLY
- EXISTING DOOR TO REMAIN
- REMOVED DOOR
- NEW DOOR

KEYED FLOOR PLAN NOTES	
TAG #	DESCRIPTION
1	TOP OF WALL AT 3'-6" ABOVE FINISH FLOOR WITH PLAM CAP
2	TOP OF WALL AT 4'-0" ABOVE FINISH FLOOR WITH PLAM CAP AND (12) 12W x 14D CUBBIES BELOW
3	TOP OF WALL AT 4'-0" ABOVE FINISH FLOOR WITH PLAM CAP
4	INFILL OPENING AT DEMO'D DOOR WITH NEW WALL TO MATCH EXISTING ADJACENT

PROJECT

PEACE LUTHERAN
MINISTRIES
ADDITION AND
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300 LINCOLN STREET
ANTIGO, WI 54409

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PROJECT INFO

Date:
07.22.2020
Project No.:
18.157.02

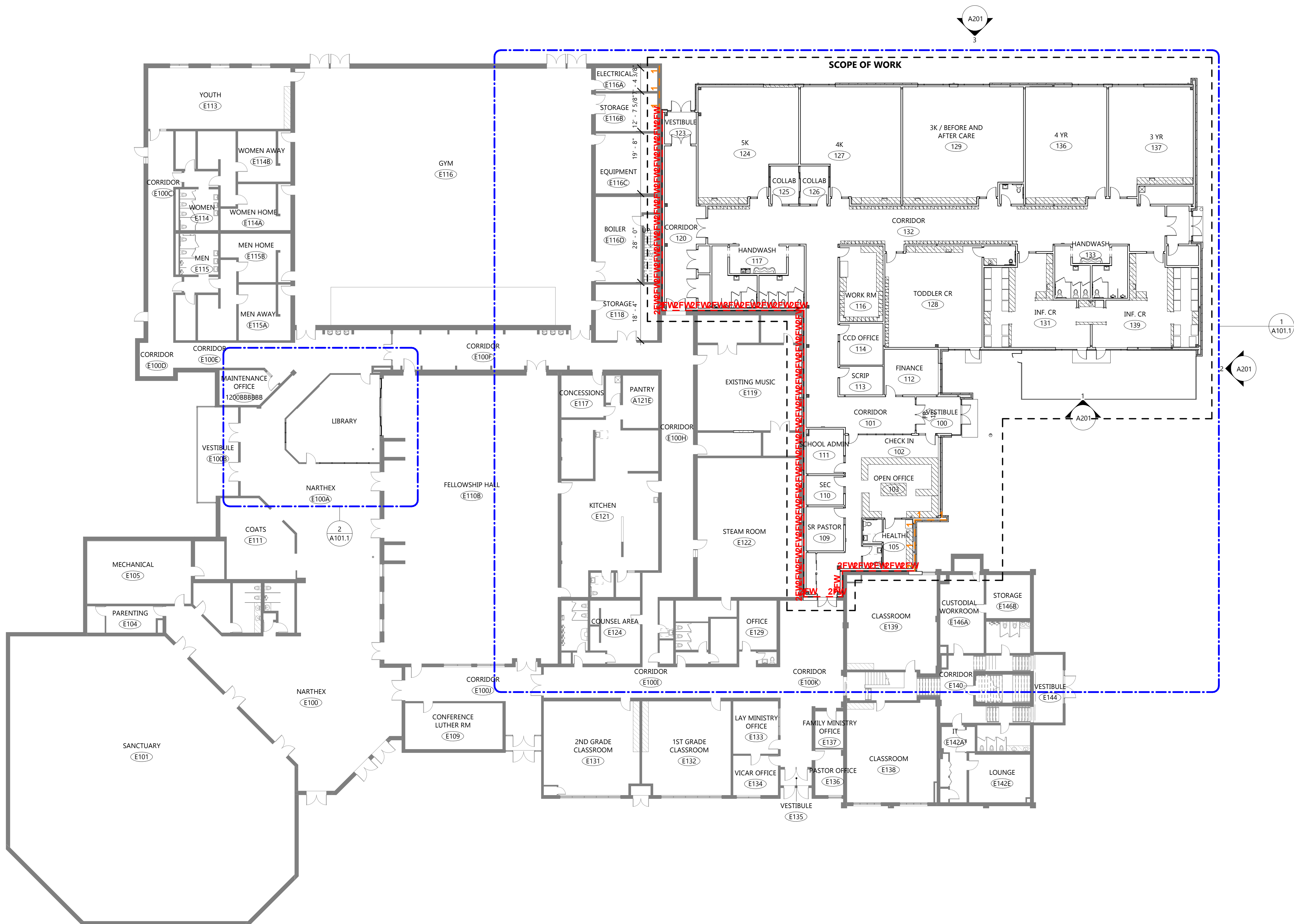
SHEET TITLE

FLOOR PLAN - OVERALL - LEVEL 1

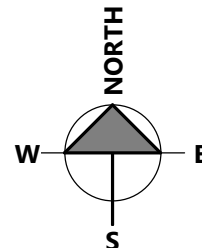
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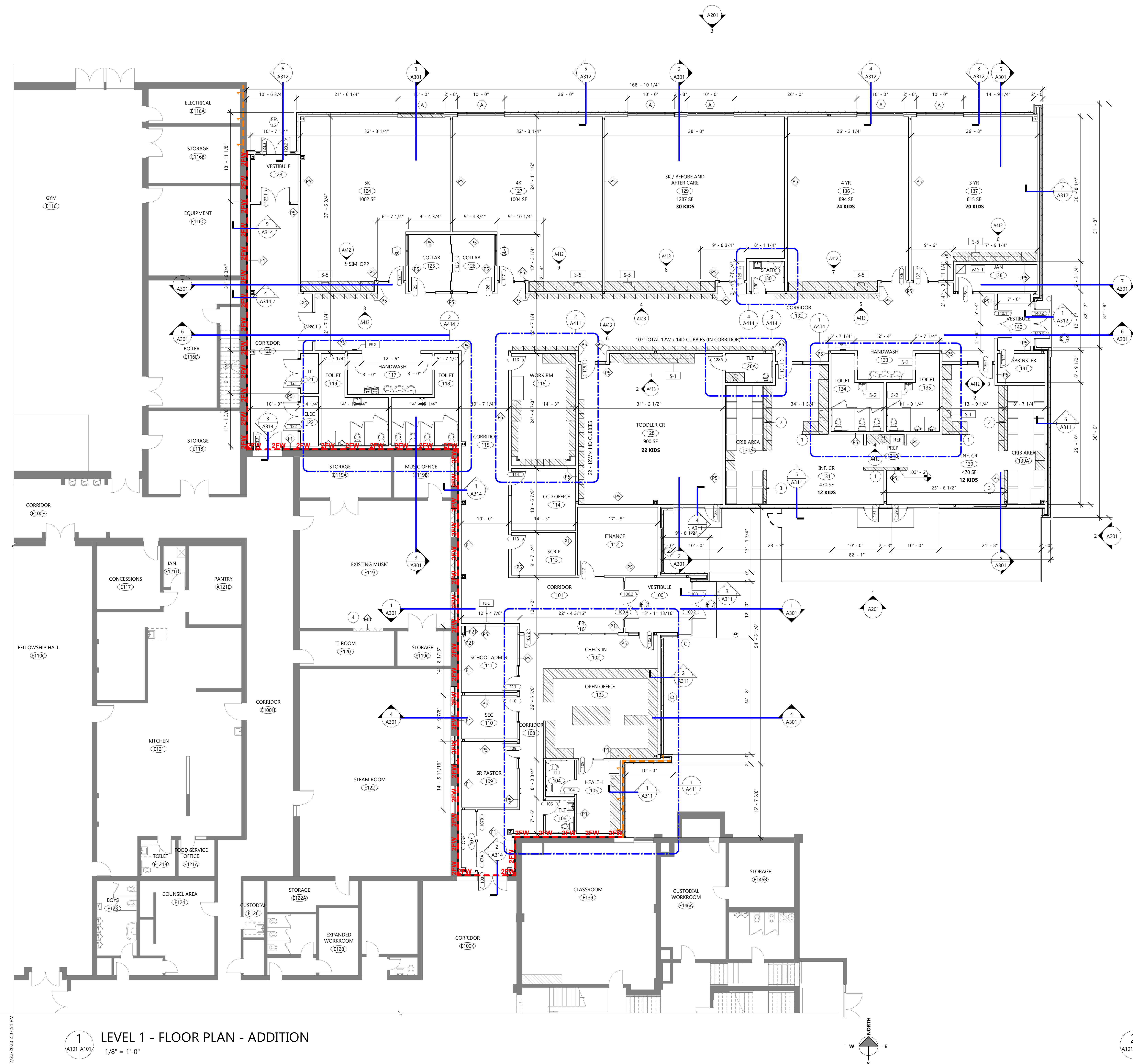
© Groth Design Group, Inc.

Packet Pg. 11



1 LEVEL 1 - FLOOR PLAN OVERALL
A101 1/16" = 1'-0"





1 LEVEL 1 - FLOOR PLAN - ADDITION
1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES:

- SEE WALL SCHEDULE FOR WALL ASSEMBLY INFORMATION. NOTE: SEE SECTIONS AND ELEVATIONS FOR CHANGES IN MATERIALS/WALL TYPES/ACCENT-ELEMENTS THAT MAY NOT BE INDICATED AT PLAN CUT.
- SEE 14 / A002 FOR TYPICAL DIMENSIONS OF DOOR OPENING FROM ADJACENT WALL.
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- PROVIDE CORNER GUARDS AS SHOWN GRAPHICALLY. SEE FINISH PLAN FOR COLORS & TYPES. ALL OUTSIDE CORNERS NOT SHOWN RECEIVING CORNER GUARDS ARE TO BE VERIFIED WITH ARCHITECT DURING BIDDING.
- ALL INTERIOR PLAN DIMENSIONS ARE TO FACE OF INTERIOR FINISH OF WALL, U.N.O. ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FINISHED FACE TO EXTERIOR FINISHED FACE, U.N.O.
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- ALL PARTITION PENETRATIONS SHALL BE FIELD VERIFIED, BRACED, AND SEALED TO MEET REQUIRED RATINGS. UTILIZE UL-APPROVED METHODS.
- PROVIDE PROPER PREPARATION TO ALL SURFACES TO RECEIVE NEW FINISHES.
- ALL ROOMS TO RECEIVE ROOM AND NUMBER SIGNAGE ADJACENT TO DOOR, COORDINATE DRINKING REQUIREMENTS WITH SIGN VENDOR.
- WHERE FLOOR DRAINS ARE REQUIRED (SEE PLUMBING) PITCH CONCRETE SLAB TO DRAINS 1/8" PER FOOT, TYP. UNLESS NOTED OTHERWISE.
- ALL GYPSUM BOARD INTERIOR SURFACES TO RECEIVE A LEVEL 4 FINISH AND PRIME COAT FOR FUTURE PAINTING APPLICATION.
- ALL PARTITIONS TO BE TYPE P1 AND EXTEND TO THE UNDERSIDE OF FLOOR/ROOF DECK UNLESS NOTED OTHERWISE.

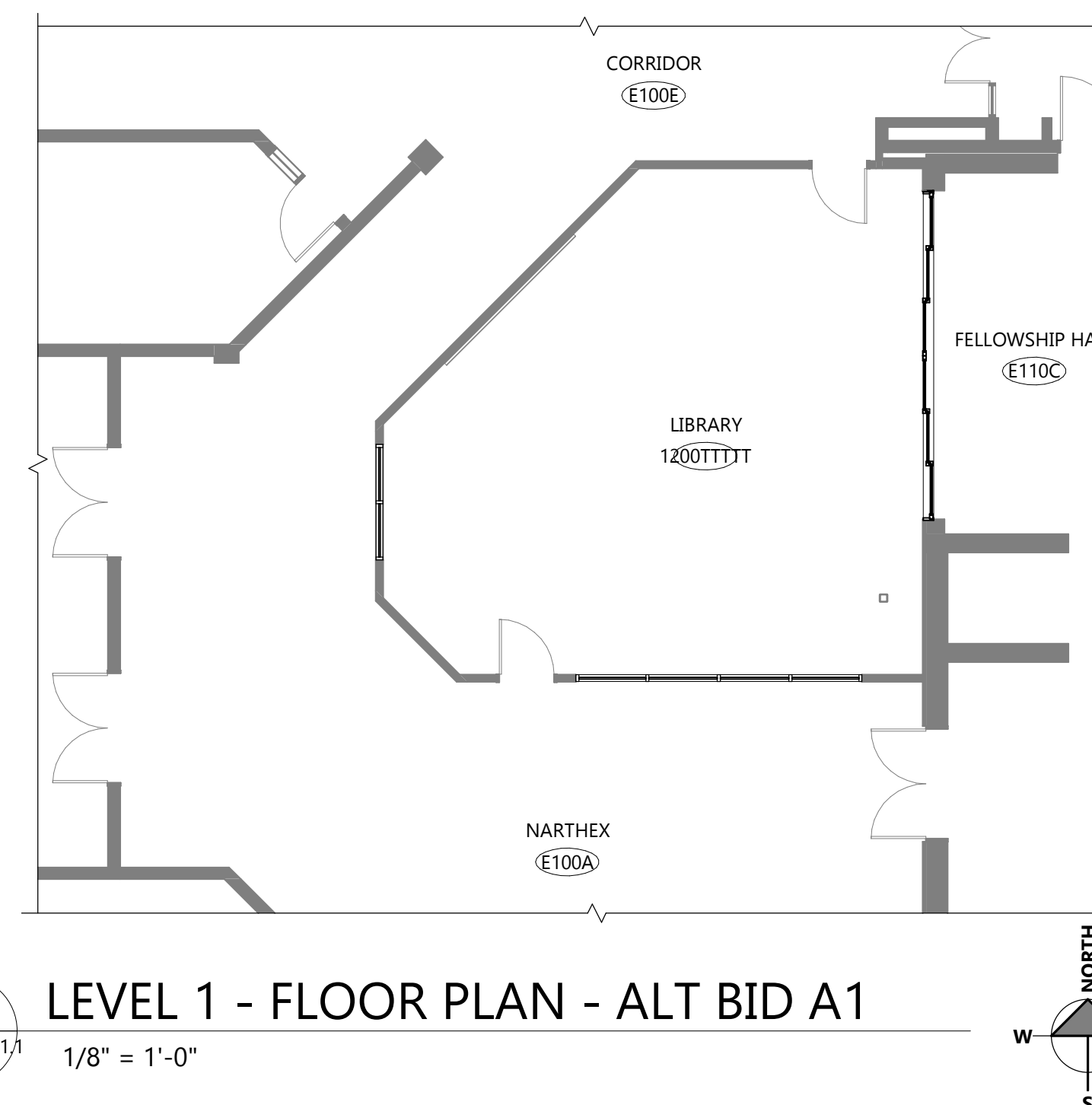
FLOOR PLAN - SYMBOL KEY

- EXISTING WALL TO REMAIN
- REMOVED WALL
- NEW WALL
- 1 WALL TYPE TAG. SEE WALL TYPES SHEET FOR ADDITIONAL INFORMATION
- 101-1 DOOR TAG
- 101-1 MILLWORK. SEE INTERIOR ELEVATIONS AND DETAILS
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 - FE-1 - RECESSED CABINET
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EQUIPMENT SCHEDULE - PLUMBING		
Type Mark	Type	Comments
DF-1	DRINKING FOUNTAIN	SEE PLUMBING
MS-1	MOP SINK	SEE PLUMBING
RD	ROOF DRAIN WITH UNDERDECK CLAMP	SEE PLUMBING
S-1	SINK - 21" x 21" x 6 1/2"	SEE PLUMBING
S-2	SINK - WALL MOUNTED - 21" x 18"	SEE PLUMBING
S-3	MULTI-POINT WASH BASIN	SEE PLUMBING
S-4	SINK - Integral/Undermount VS1515	SEE PLUMBING
S-5	SINK W/ INTEGRAL DRINKING FOUNTAIN - 21" x 21" x 6 1/2"	SEE PLUMBING
T-1	TOILET - TANK	SEE PLUMBING
T-2	TOILET - JUVENILE	SEE PLUMBING
U-1	URINAL	SEE PLUMBING



2 LEVEL 1 - FLOOR PLAN - ALT BID A1
1/8" = 1'-0"



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PROJECT

PEACE LUTHERAN MINISTRIES ADDITION AND RENOVATION

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Project No.
18.157.02

SHEET TITLE

ENLARGED FLOOR PLANS - LEVEL 1

A101.1



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- FIRE EXTINGUISHERS
- FE-1 - RECESSED CABINET
FE-2 - SEMI-RECESSED CABINET
FE-3 - SURFACE MOUNTED CABINET
FE-4 - SURFACE MOUNTED EXTINGUISHER ONLY
- EXISTING DOOR TO REMAIN
- REMOVED DOOR
- NEW DOOR

PROJECT

PEACE LUTHERAN
MINISTRIES
ADDITION AND
RENOVATION

300 LINCOLN STREET
ANTIGO, WI 54409

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NO. REV. DATE DESCRIPTION

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DOCUMENTS

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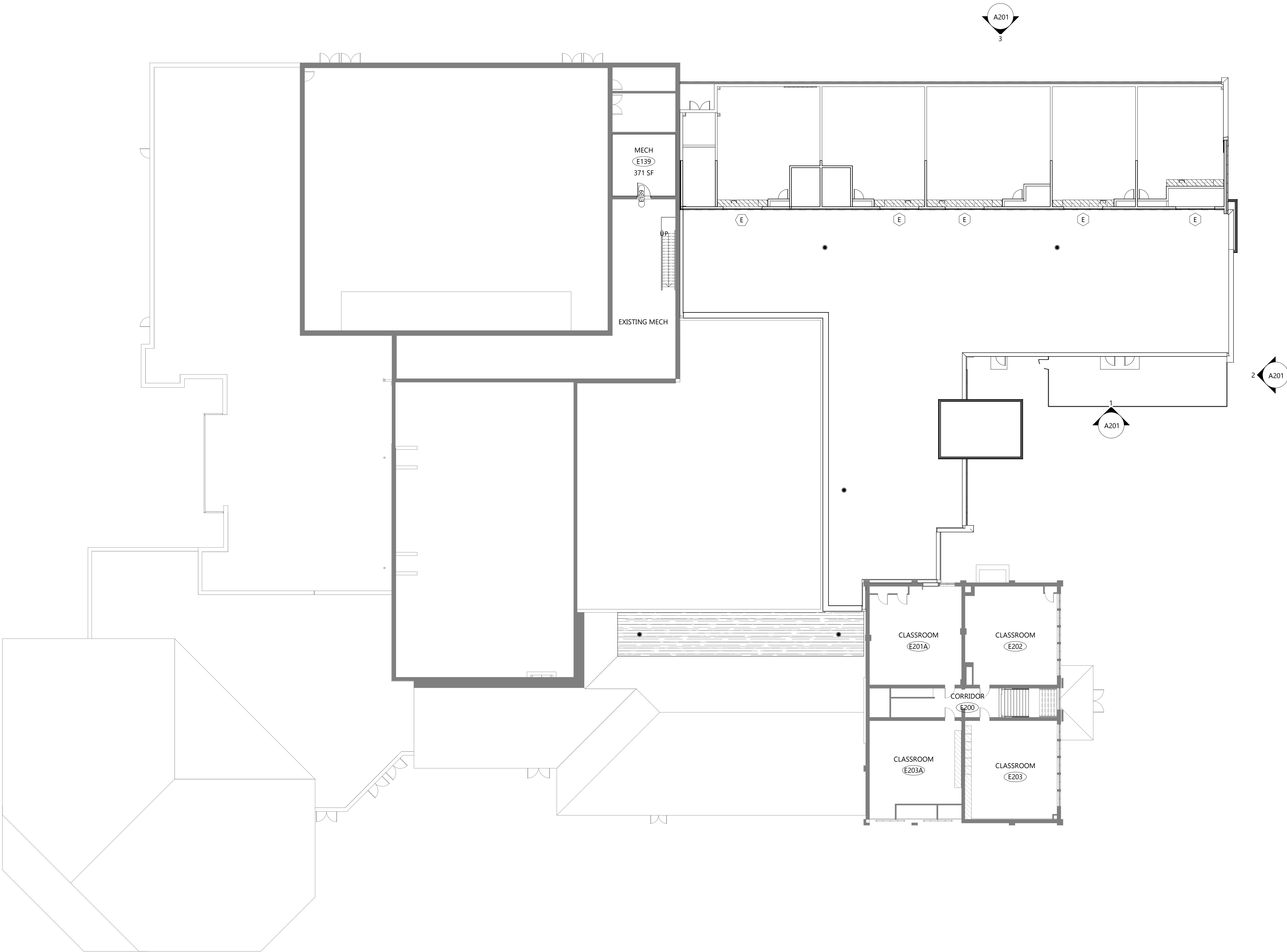
Date
07.22.2020

Project No.
18.157.02

SHEET TITLE

FLOOR PLAN - MEZZANINE /
CLERESTORY

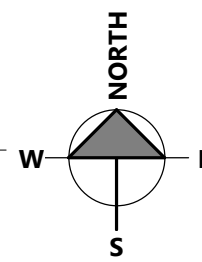
A102



1
A102

MEZZANINE FLOOR PLAN

1/16" = 1'-0"





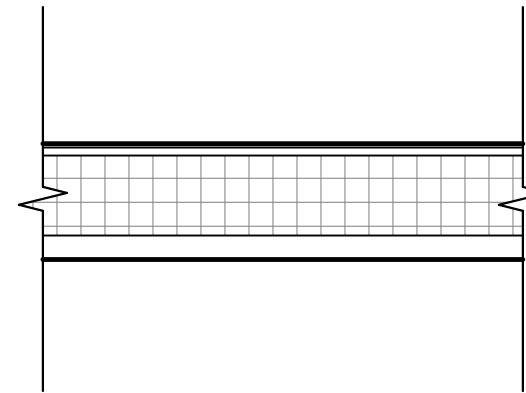
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ROOF PLAN GENERAL NOTES:

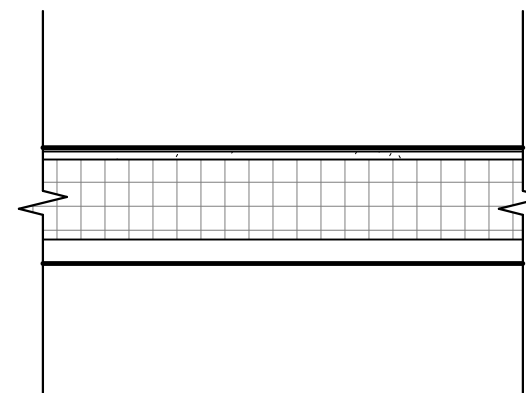
- A. **R-#** INDICATES ROOF TYPE. SEE LEGEND FOR ROOF TYPE INFORMATION.
- B. CONTRACTOR SHALL COORDINATE ROOFING INSTALLATION WITH MECHANICAL & PLUMBING DRAWINGS. PROVIDE CURBING AND FLASHING AS REQUIRED AT ROOF PENETRATIONS TO MAINTAIN INTEGRITY OF ROOF MEMBRANE.
- C. ALL GRAVEL STOPS AND COPINGS TO HAVE CONTINUOUS HOLD-DOWN CLIPS.
- D. PROVIDE TAPERED EDGE STRIPS AS NECESSARY AT ROOF EDGES.
- E. CONCRETE PAVERS: PROVIDE PAVERS AS SPECIFIED FROM ROOF SCUTTLERS AND LADDERS TO ALL SERVICE AREAS OF MECHANICAL EQUIPMENT.
- F. ALL ROOF PENETRATIONS AND EQUIPMENT CURBS TO BE FLASHED PER MANUFACTURER'S REQUIREMENTS.
- G. COORDINATE WITH PLUMBING DRAWINGS FOR ALL ROOF DRAIN LOCATIONS.
- H. PROVIDE APPROVED TRANSITIONS BETWEEN EXISTING ROOFING AND NEW ROOFING TO MAINTAIN EXISTING ROOF WARRANTY.
- I. AT SHINGLE ROOFING, PROVIDE PERIMETER UNDERLAYMENT AT ALL ROOF VALLEYS AND TO 2'-0" IN FROM EXISTING FACE OF WALL AT ROOF EAVES, AND AS SPECIFICALLY NOTED ON THE DRAWINGS.



R-2

FLAT ROOF

- ASPHALT SHINGLES
- MINIMUM 5 1/2" NAILBASE (R30)
- 30 MIL VAPOR BARRIER
- METAL DECK PER STRUCTURAL
- SLOPED FRAMING PER STRUCTURAL



R-1

FLAT ROOF

- 60MIL BLACK EPDM, FULLY ADHERED
- 1/2" COVERBOARD
- MINIMUM 5" (R30) POLYISOCYANURATE INSULATION (2 LAYERS W/ STAGGERED JOINTS)
- 30 MIL VAPOR BARRIER
- METAL DECK PER STRUCTURAL
- SLOPED FRAMING PER STRUCTURAL

ROOF TYPES

1" = 1'-0"

KEYED ROOF PLAN NOTES	
TAG #	DESCRIPTION

- 1 HATCHED AREA INDICATES NEW FLAT ROOF OVER EXISTING PITCHED ROOF
- 2 EXTEND PARAPET AS NECESSARY
- 3 ROOF DRAIN
- 4 PREFINISHED ALUMINUM COPING/GRAVEL STOP. SEE SECTIONS AND DETAILS FOR ADDITIONAL INFORMATION
- 5 PREFINISHED ALUMINUM GUTTER & OPEN-FACE DOWNSPOUT
- 6 ICE AND WATER SHIELD

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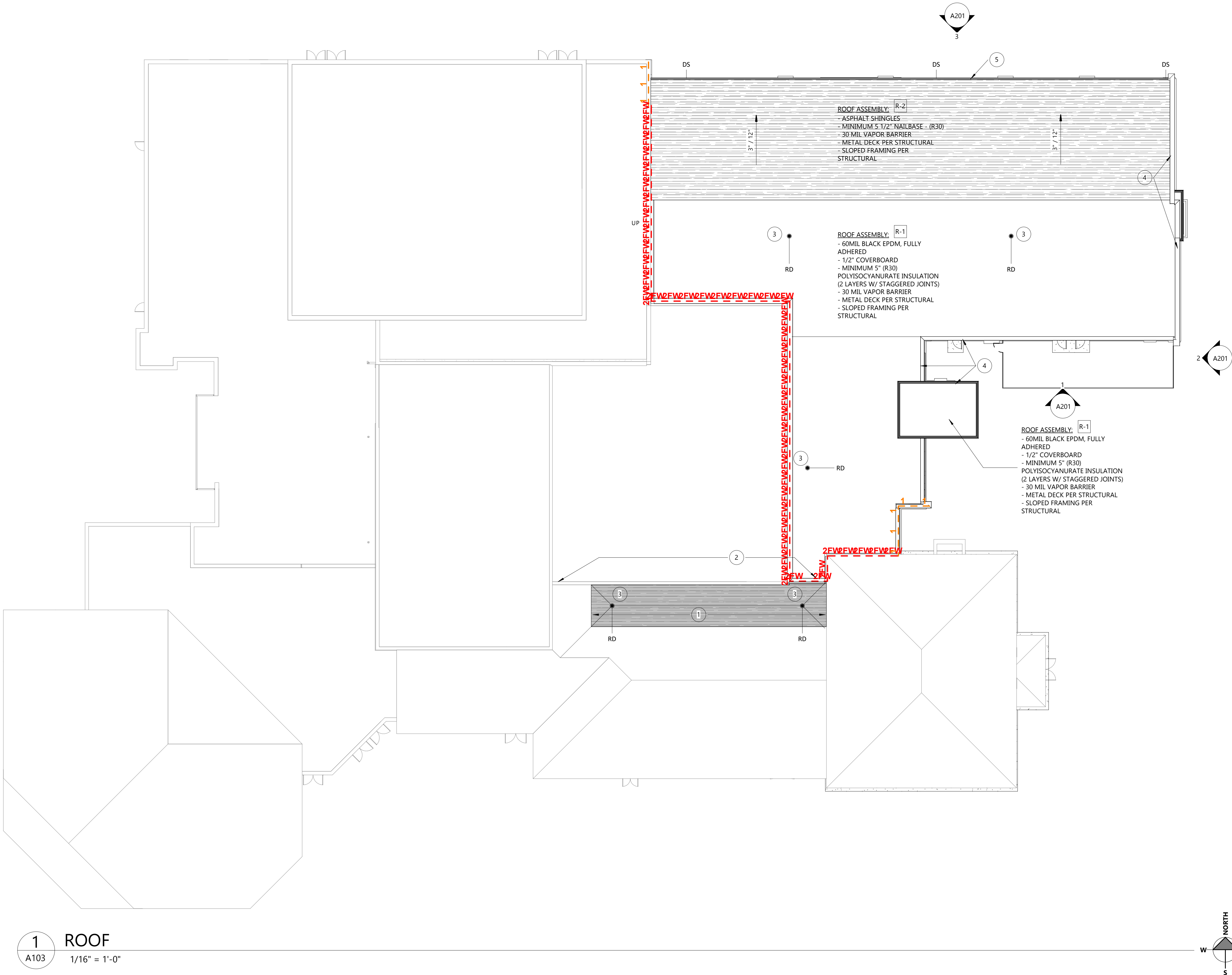
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SHEET TITLE

ROOF PLAN

A103



1

ROOF

A103

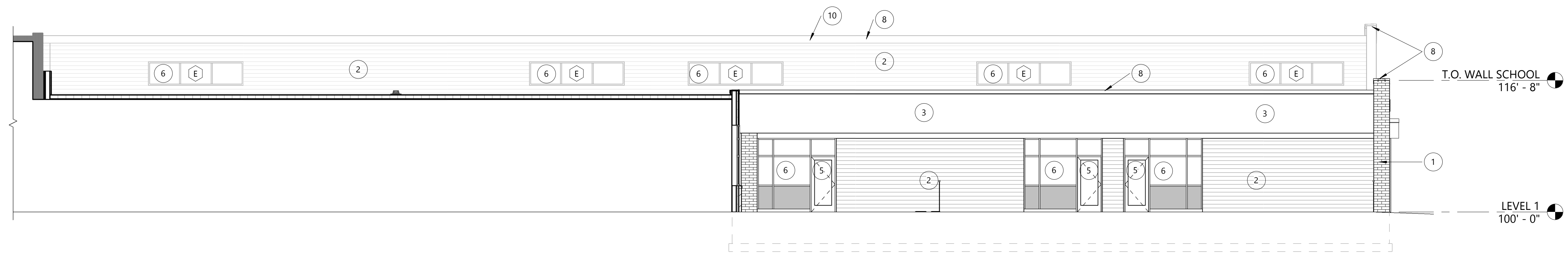
1/16" = 1'-0"

KEYED EXTERIOR ELEVATIONS	
TAG #	DESCRIPTION
1	BRICK VENEER TO MATCH EXISTING
2	CEMENT BOARD SIDING, COLOR: TBD
3	CEMENT BOARD PANEL, COLOR: TBD; TEXTURE: TBD
4	PRECAST SILL
5	THERMALLY BROKEN ALUMINUM DOOR. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION
6	THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM. SEE WALL SECTIONS & WINDOW TYPES FOR ADDITIONAL INFORMATION
7	SPANDREL GLASS
8	PREFINISHED ALUMINUM COPING/GRAVEL STOP. SEE SECTIONS AND DETAILS FOR ADDITIONAL INFORMATION
9	PREFINISHED ALUMINUM GUTTER & OPEN-FACE DOWNSPOUT
10	PREFINISHED ALUMINUM FASCIA
11	PROPOSED SIGNAGE LOCATION. COORDINATE W/ SIGNAGE PACKAGE
12	PREFINISHED ALUMINUM COLUMN COVER, COLOR: TBD
13	ASPHALT SHINGLES, COLOR: TBD

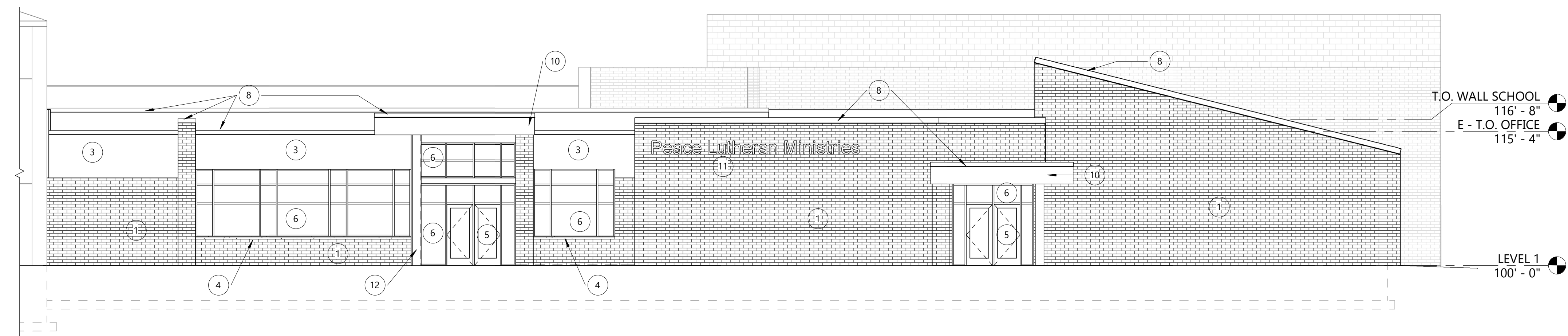


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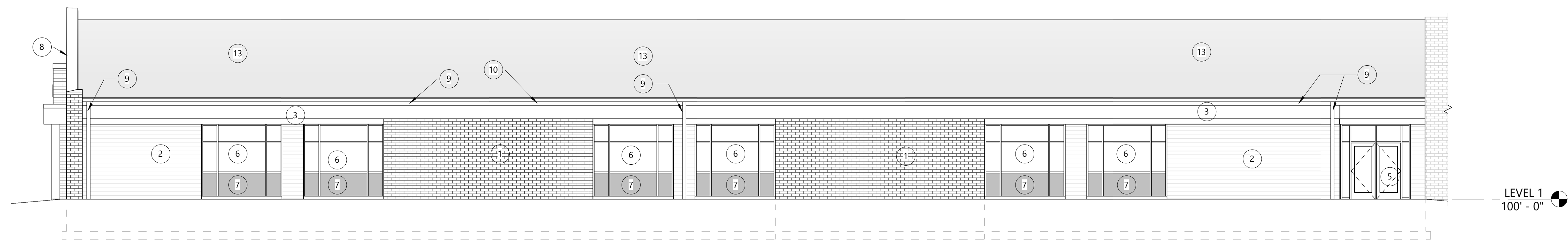
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1 SOUTH ELEVATION @ ADDITION
A101 | A201
1/8" = 1'-0"



2 EAST ELEVATION @ ADDITION
A101 | A201
1/8" = 1'-0"



3 NORTH ELEVATION @ ADDITION
A101 | A201
1/8" = 1'-0"

PROJECT

PEACE LUTHERAN MINISTRIES ADDITION AND RENOVATION

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SHEET TITLE

BUILDING ELEVATIONS

A201

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Packet Pg. 15



2 NE PERSPECTIVE
A202 1/8" = 1'-0"



3 SE PERSPECTIVE
A202 1/8" = 1'-0"



1 SE PERSPECTIVE FROM ABOVE
A202 1/8" = 1'-0"



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EXTERIOR RENDERINGS

A202



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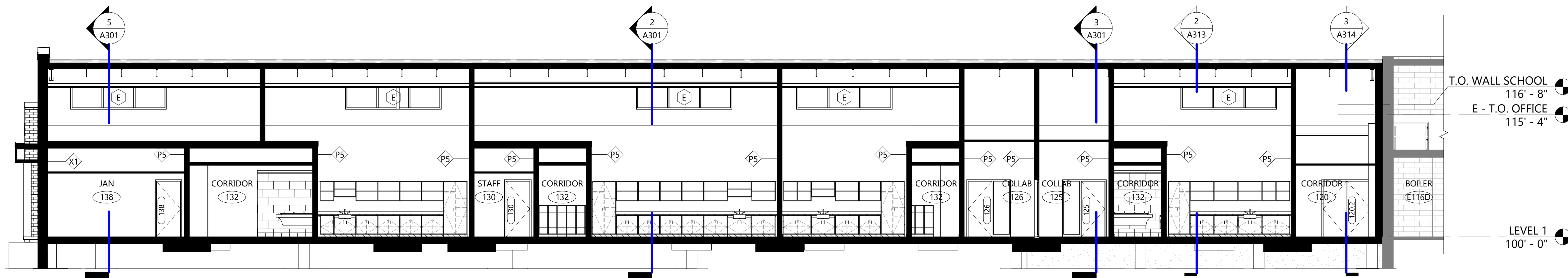
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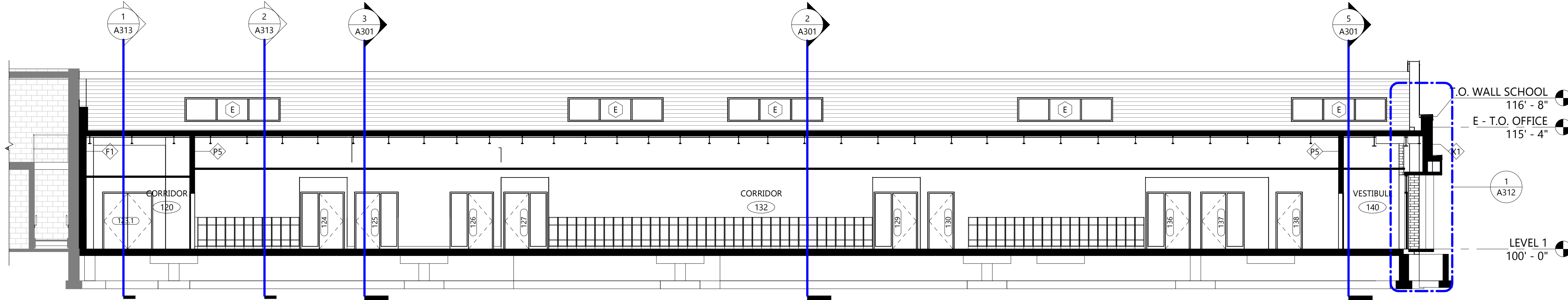
BUILDING SECTIONS

A301

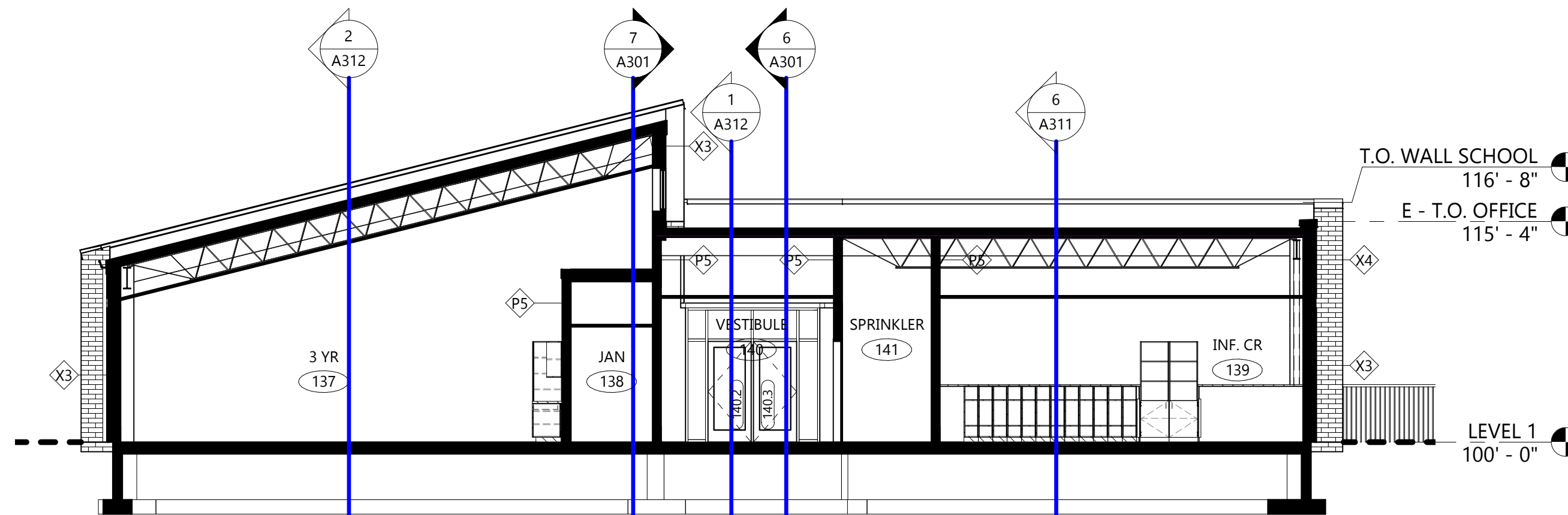
© Groth Design Group, Inc.



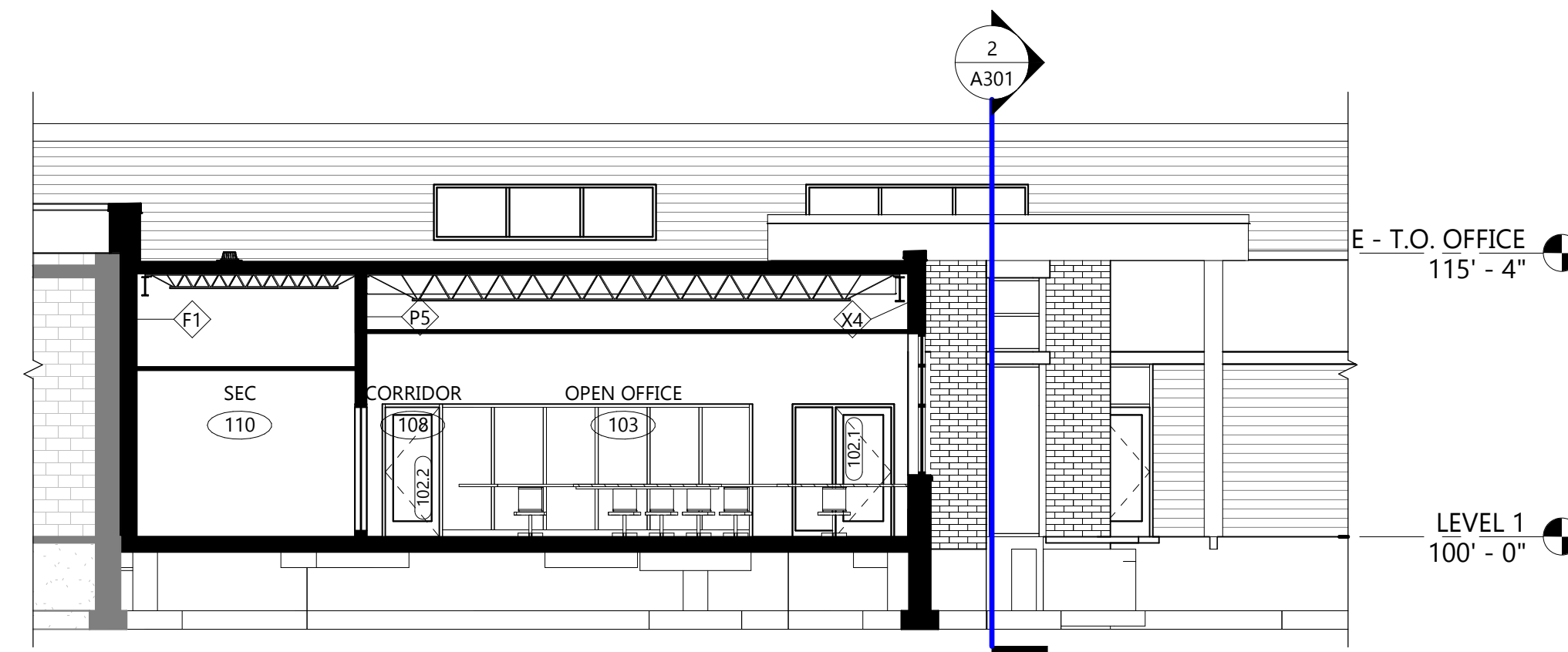
7 BUILDING SECTION
1/8" = 1'-0"



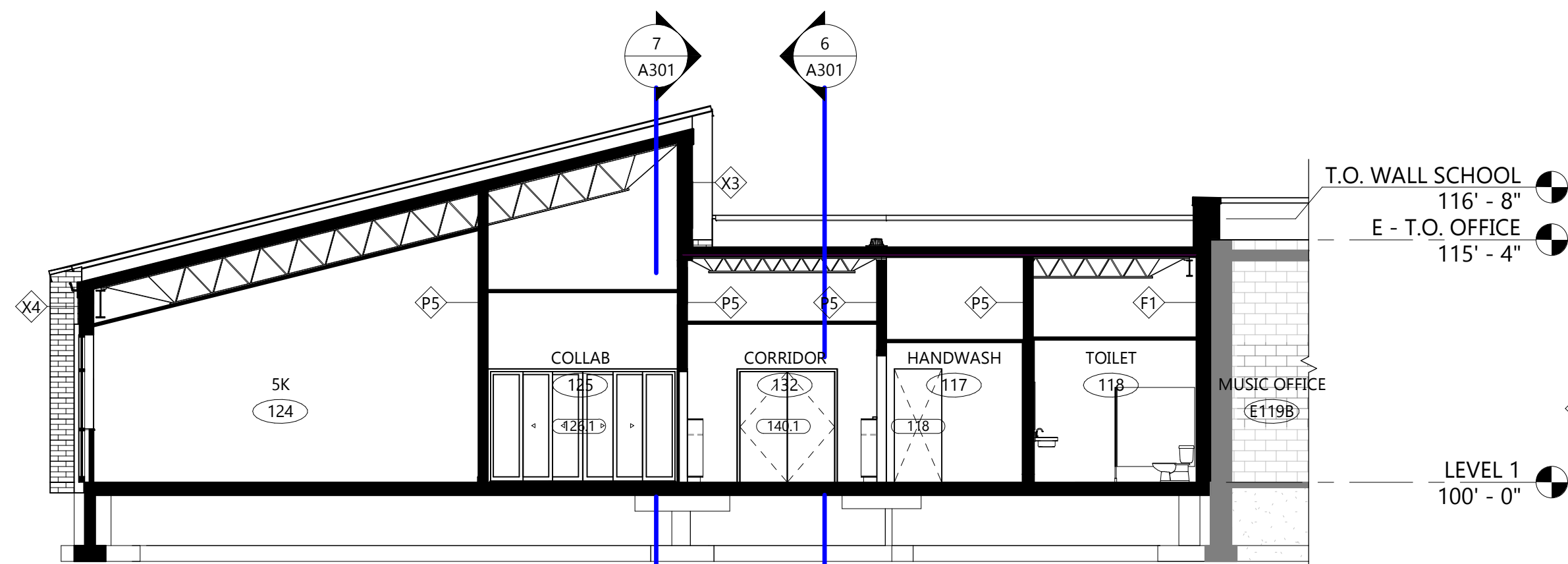
6 BUILDING SECTION
1/8" = 1'-0"



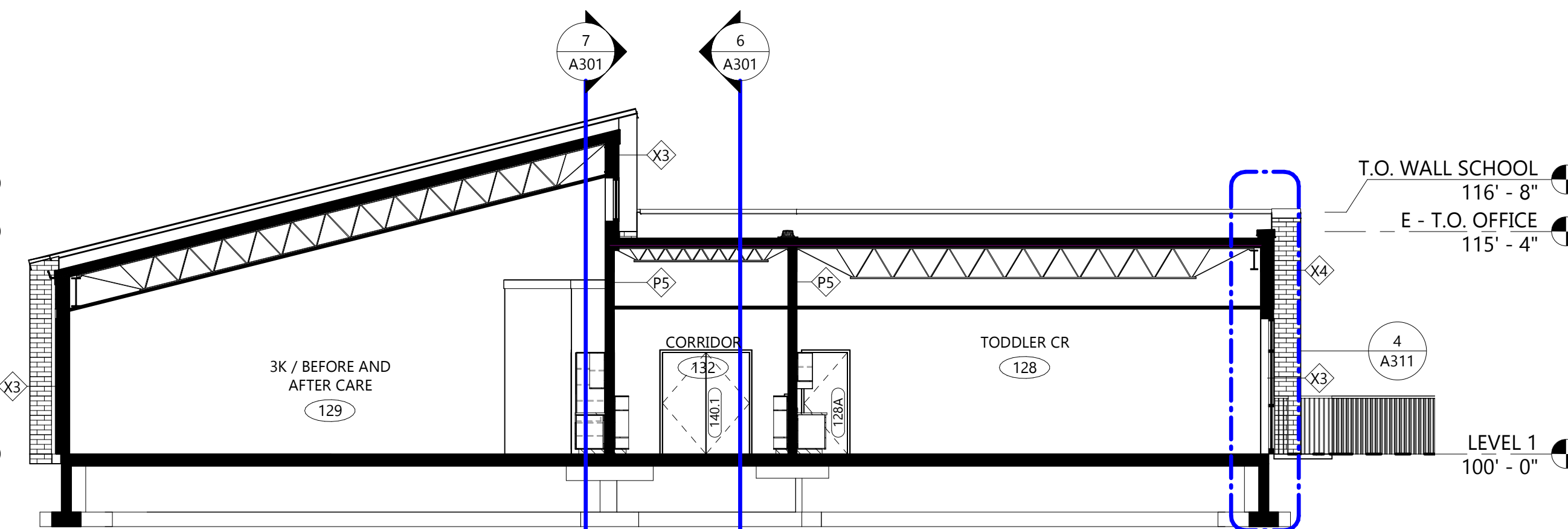
5 BUILDING SECTION
1/8" = 1'-0"



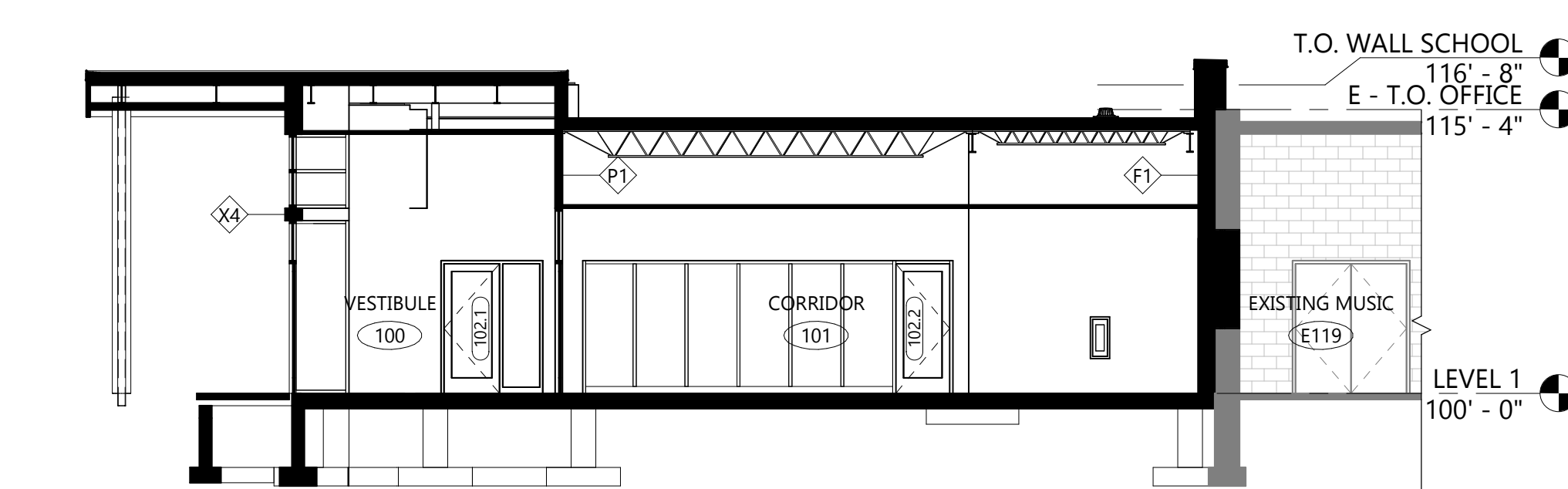
4 BUILDING SECTION
1/8" = 1'-0"



3 BUILDING SECTION
1/8" = 1'-0"



2 BUILDING SECTION
1/8" = 1'-0"



1 BUILDING SECTION
1/8" = 1'-0"